

Meath County Council

Planning Report

To:	Lisa Carroll, A/Senior Executive Planner
From:	Ryan Keleghan, Assistant Planner
File Number:	2660366
Applicant:	Leagh Tyrrell & Cristian Grigor
Development Address:	Mullaghfin Crossroads, Duleek, Co. Meath, A92 F662
Application Type:	Permission
Date of Site Inspection:	21/05/2026
Date of Report:	21/05/2026
Date Decision Due:	26/05/2026
Development Description:	The development will consist of a) the construction of a two-storey dormer extension to the rear, b) an entrance porch and new dormer window to the front, c) a shed and garage to the rear d) a perimeter boundary wall and vehicular gates to front and side entrances, and e) installation of a new waste water treatment system, along with all associated site works.

1. Site Location & Description

The site measures 0.117ha and is located within the townland of Mullaghfin, approximately 4.2km west of Duleek and 4.1km northeast of Kentstown. The site is not located within a settlement boundary. The site is currently residential. The site is located off the regional road R-150-142 and at the junction with the local road L-5608-16. The site is immediately surrounded by agricultural lands and detached residential dwellings.

The site is zoned RA - Rural Area and is located within an area designated as a 'Rural Area under Strong Urban Influence', according to the Meath County Development Plan 2021-2027. The site is not located within an Architectural Conservation Area (ACA). There are no Protected Structures, Recorded Monuments or Protected Views within the application site. The site is located within the 'Central Lowlands', lowland landscape character area, which has a high landscape character value and has a moderate landscape sensitivity.



Figure 1: Site Location. (Source: Google Maps, 2026)



Figure 2: Aerial Photograph of Site (Approximate Redline Boundary). (Source: Google Maps, 2026).

Site Inspection Photography



2. Proposed Development

The Applicant is seeking planning permission for the development which “*will consist of a) the construction of a two-storey dormer extension to the rear, b) an entrance porch and new dormer window to the front, c) a shed and garage to the rear d) a perimeter boundary wall and vehicular gates to front and side entrances, and e) installation of a new waste water treatment system, along with all associated site works.*”

3. Planning History

A review of the Meath County Council Planning Register indicates that there is recent and relevant planning history on or near the subject site.

- **Plan Ref No. 2460436:** Planning permission was sought for “*the development will consist of a two-storey extension to the side and rear of the existing dwelling*”. The Application was Withdrawn.

Adjacent to the site

- **Plan Ref No. SA802493:** Planning permission was granted for the “*retention of existing 2 no. storey and half type windows to front elevation of the existing dwelling house, alterations to the existing dwelling house, construction of rear storey and half extension, relocation of existing vehicular entrance and all associated site works*”.

4. Policy Context

Project Ireland 2040, The National Planning Framework (NPF)

The Regional Spatial and Economic Strategy (RSES) for the Eastern and Midland (EMRA) 2019-2031

Meath County Development Plan 2021-2027

- *Section 11.5.25* outlines the development standards and guidance for domestic extensions in Urban and Rural Areas. These standards emphasise matters such as the design of the extension which should be of high-quality which respects and integrates with the existing dwelling; the impact on the visual and residential amenities of the area and the amenities of the property to be extended; provision of car parking and, where applicable, sewage treatment and disposal facilities. In this regard, the following is relevant:

DM OBJ 50: All applications for residential extensions in urban areas shall comply with the following criteria:

- *High quality design which respects, harmonises and integrates with the existing dwelling in terms of height, scale, materials used, finishes, window proportions, etc.*
- *The quantity and quality of private open space that would remain to serve the house.*
- *Flat roof extensions, in a contemporary design context, will be considered on their individual merits;*
- *Impact on amenities of adjacent residents, in terms of light and privacy. Care should be taken to ensure that the extension does not overshadow windows, yards or gardens or have windows in the flank walls which would reduce a neighbour's privacy.*
- *Extensions which break the existing front building line will not normally be acceptable. A porch extension which does not significantly break the front building line will normally be permitted.*
- *Dormer extensions shall not obscure the main features of the existing roof, i.e. should not break the ridge or eaves lines of the roof.*
- *Proposed side extensions shall retain side access to the rear of the property, where required for utility access, refuse collection, etc.*
- *Ability to provide adequate car parking within the curtilage of the dwelling house.*

- *In all cases where diversion or construction over existing sewerage and/or water mains is required, the consent of Irish Water will be required as part of the application.*

All other relevant Section 28 Planning Guidelines have been considered in assessment of this application.

5. Submissions

There have been no submissions received on behalf of this application.

6. Representations

No councillor representation has been received on behalf of this application.

7. Prescribed Bodies

The application was not referred to any Prescribed Bodies.

8. Internal Referrals

The application was referred to the following Internal Department:

- **Environment (Wastewater):** No objection subject to conditions.
- **Environment (Surface Water/Flooding):** No objection subject to conditions and note has been submitted alongside the conditions.

9. Pre-Application Consultation

A review of Section 19 of the submitted Application Form indicates that there was not a pre-planning consultation held in respect of the proposed development.

10. Planning Assessment

The main planning considerations in the determination of this application are:

- Principle of Development
- Design & Layout
- Impact on Amenities
- Flood Risk
- Archaeology/Built Heritage
- Transportation
- Site Services

10.1 Principle of Development

The application site land zoning is stated as RA – Rural Area, according to the Meath County Development Plan 2021-2027. This zoning objective is as follows; *“To protect and promote in a balanced way, the development of agriculture, forestry and sustainable rural-related enterprise, community facilities, biodiversity, the rural landscape, and the built and cultural heritage”*.

The application site is zoned ‘RA – Rural Area’ in the Meath County Development Plan 2021-2027 where a ‘Residential’ is a permitted use subject to the Rural Settlement Strategy. There is an existing dwelling located on the site. The proposed development is considered to be acceptable in principle subject to a detailed planning assessment and compliance with the

design standards and assessment criteria provided within the Meath County Development Plan 2021-2027.

10.2 Design & Layout

The existing dwelling is a modest storey and a half dwelling with a ridge height of 6.7m. The dwelling has a pebble dash plaster finish. The dwelling has a length of approximately 7m and a depth of approximately 5m. There is a front porch located on the existing dwelling and a small rear extension also. The existing rear extension projects from the dwelling by approximately 4m and has a width of approximately 5m. The existing dwelling is finished with a gable roof profile. The existing dwelling is a one-bedroom unit.

The proposed rear one and half storey extension will project from the dwelling by approximately 8.5m and will extend to the side slightly by 1.5m in place of the existing rear extension. The extension will rise to meet the ridge height of the existing dwelling. The extension is proposed with a rectangular bulk and mass. The rear extension is finished with a gable roof profile. The external finishes of the rear extension are proposed as a select render finish on the first floor and a metal cladding or render to later selection on the first floor. The proposed front dormer window and side elevation dormer windows are proposed with a metal clad. The roof colour has not been detailed. There a number of additional windows proposed as part of the development on the front and side elevation. There appears to be no windows proposed on the elevation facing east towards the adjacent neighbouring dwelling based solely on the floor layouts submitted.

Notwithstanding, the extended footprint, including the first floor, is proposed to abut the shared boundary on the east side of the dwelling for its full depth. The applicant should be requested to revise the drawings to mirror the setback arrangement provided to the neighbouring dwelling to maintain residential amenity.

The proposed rear extension will increase the occupancy of the dwelling to three bedrooms.

The Applicant has also proposed a detached garage located to the rear of the site. The proposed two car garage has a floor area of 51.3m² with a rectangular shape. The garage has a length of 12m and a width of 4.2m. The external finish of the garage is proposed as a smooth render finish with blue/black or grey slates. The garage has an open floor plan. The garage is proposed with a slanted roof with a height of 3.8m sloping down to a height of 2.6m.

The Applicant has proposed a detached shed located to the rear of the site also. The proposed shed is stated to be for antique cars; the Applicant has not provided any evidence of such. The shed has a proposed floor area of 79m². With a length of 12m and a depth of 7m. The external finish of the shed is proposed as a metal wall cladding, the colour hasn't been detailed, with a metal cladding roof. The shed has an open floor plan with an open front access also. The shed is proposed with a slanted roof with a height of 4.4m sloping down to a height of 2.9m.

The Applicant has proposed the retention of changes to the front boundary wall. The Applicant does not appear to have provided an elevation drawing of such. The height of the masonry wall does not appear to have been detailed to the front. The side wall will rise to a height of 1.8m and be setback 2.4m.

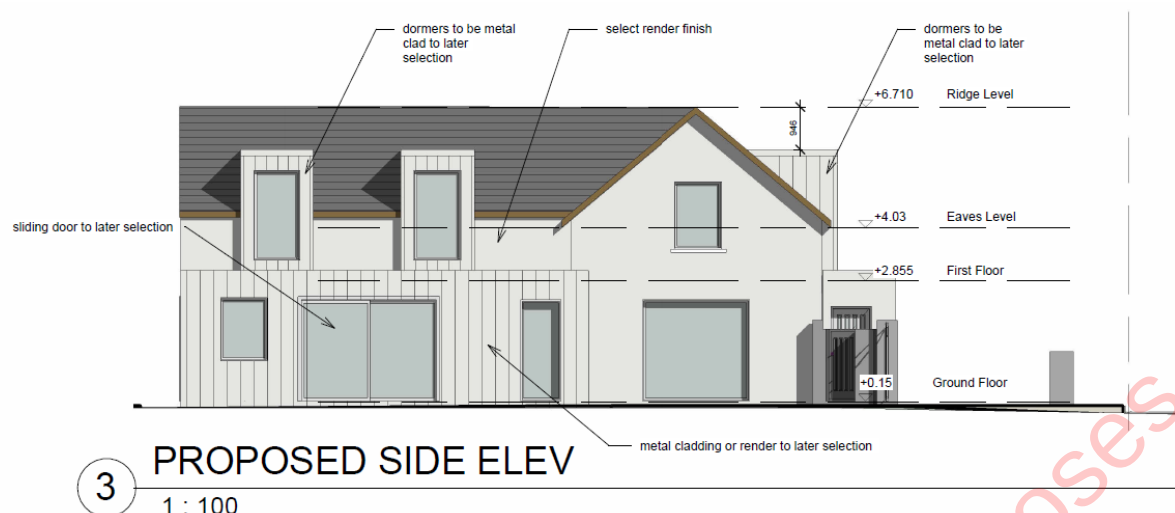


Figure 8: Proposed Side Elevation, as submitted.

10.3 Flood Risk

The Meath County Development Plan 2021-2027 refers to Flood Risk Management as a key area of assessment. A review of the area indicates that the application site is not located in an identified flood risk zone in the OPW PFRA Mapping/Strategic Flood Risk Assessment for County Meath carried out for the Meath County Development Plan 2021-2027. The subject site is located 625m west of a flood zone. This is a Flood Zone A; therefore, the zone is defined as an area of high probability of flooding. However, the application site is in a Flood Zone C (fluvial) where the risk of flooding is low.

10.4 Archaeology/Built Heritage

There are known Recorded Monuments or Protected Structures within the site. There is a Recorded Monument situated within close proximity of the site, this is located 265m southeast of the site, this is an 'Enclosure' (SMRS: ME026-029). This is unlikely to be impacted by the proposed development.

10.5 Transportation

The site will be accessed through an existing entrance off the regional road R-163-25 and the local road L-5608-16. These are both existing entrances, the planning status of which is not clear based on the lack of site history. The visibility from the entrance onto the regional road is very poor and likely a hazard given the topography of the regional road. There are no proposed changes to these existing entrances.

10.6 Site Services

As outlined in the Application Form submitted by the Applicant the proposed extension will be serviced by an existing connection to the public mains. Wastewater will be serviced by new conventional septic tank. The Applicant has submitted a Site Characterisation Report to reflect this. This was prepared by ARC Design Services. The report details this proposed wastewater treatment system to be compliant with EPA Code of Practice 2021. The Site Characterisation Report can be summarised as such:

- Trial hole opened on 27/02/2026
- Trial hole dug to 2.1mBGL

- Depth from ground surface to water table: 0.9mBGL
- Test holes pre-soaked on 01/03/2026 at 08:48 and 17:11
- Test holes examined on 02/03/2026
- The sub-surface test result is shown at 46.22 (min/25mm)
- The surface test result is shown at 19.67 (min/25mm)
- Design PE of 6.

The site is very narrow and constrained. The neighbour's wastewater treatment system location has not been detailed on the submitted drawings. From a review of the historic application on the neighbouring site, the wastewater treatment system is located further north of the neighbouring dwelling.

The existing wastewater treatment system will be required to be decommissioned, the area sterilised and backfilled.

Surface water management is to be via a soakpit.

The Meath County Council Environmental Department have provided conditions in the event of a grant of permission and have included the following comment:

"The Environment department would like to highlight the possibility that existing water main and overhead ESB cables are located within the subject site redline boundary and may impact the construction of the proposed development. The applicant will have to locate the existing services and shall reach an agreement with Uisce Éireann and ESB Networks with regards acceptable diversion options in required. It also may be the case that the existing services records are incorrect/not accurate and the existing services are located outside the redline boundary."

11. Appropriate Assessment

Article 6(3) of Council Directive 92/43/EEC (the Habitats Directive) compels competent authorities to undertake an appropriate assessment of any plan or project not directly connected with or necessary to the management of a Natura 2000 site but likely to have a significant effect thereon, either individually or in combination with other plans or projects.

'Appropriate Assessment of Plans and Projects, Guidance for Planning Authorities' (2009) provide advice to planning authorities on their obligations under the Habitats Directive. The document, "Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities", states that where, from the nature, size and location of the development, it is unclear if the proposal will have a significant effect on a Natura 2000 site(s), a Natura Impact Statement will be required.

The following Natura 2000 sites are located within 15km of the subject site:

- River Boyne and River Blackwater SAC (002299)
- Boyne Coast and Estuary SAC (001957)
- River Boyne and River Blackwater SPA (004232)
- Boyne Estuary SPA (004080)
- River Nanny Estuary and Shore SPA (004158)

The Planning Authority considered the nature, scale and location of the proposed development and other plans and projects (where there could be potential for cumulative or in-combination

effects), the conservation objectives/ qualifying interests of European Sites within the vicinity of the site and the distance to European Sites, any protected habitats or species, the WFD catchment location, the underlying aquifer type and vulnerability and the excavation works, emissions, transportation requirements and duration of construction and operation and cumulative impacts associated with the proposal.

The Planning Authority's Screening for Appropriate Assessment has considered the potential effects including direct, indirect and in-combination effects of the proposed development, individually or in combination with the permitted developments and cumulatively with other plans or projects on European Sites. The Planning Authority concludes that the proposed development (entire project), by itself or in combination with other plans and developments in the vicinity, would not be likely to have a significant effect on European Site(s). In light of this, it is considered that a Stage 2 Appropriate Assessment (Natura Impact Statement) is not required in this instance.

12. Environmental Impact Assessment

The Planning Authority is required to determine if the proposed development requires an Environmental Impact Assessment (EIA). This determination is based on the requirements set out in Schedule 5 of the Planning and Development Regulations, 2001 to 2025, Schedule 5 requirements.

The Planning Authority is required to determine if the proposed development requires an EIA. The proposed development does not equal or exceed a threshold or represent a category of project listed in Schedule 5 of the Planning and Development Regulations 2001 to 2025. Having regard to the small scale and nature of the development and the site location, the proposal would not require sub-threshold EIA.

13. Development Contributions

Domestic extensions less than 100m² are exempt. This exemption is cumulative and limited to 100m² in total per dwelling. Approximately 114m² of an extension is currently proposed. There is an existing rear extension will be demolished and built over which has a floor area of 20m². Therefore, the 94m² of development floor area will not cross the threshold and subsequently will not be subject to a development contribution, at this instance.

14. Recommendation

In accordance with Section 34(8) of the Planning and Development Act 2000 to 2023, it is recommended that **FURTHER INFORMATION** is requested to adequately assess the subject development, as follows:

1. The Applicant has proposed a two-storey rear extension that has the potential to have a negative impact on the rear amenity of the neighbouring dwelling. The Applicant is requested to submit revised plans and particulars to provide a similar setback arrangement as currently presented to the rear extension of the neighbouring dwelling to mitigate against any potential impact on residential amenity and daylighting.
 - (i) The applicant is also requested to submit a side / east elevation of the proposed new extension to include separation distances with the neighbouring dwelling and all proposed external finishes to same. All elevations shall be provided with north, east, west and south orientations.

- (ii) The Applicant shall submit revised plans and particulars which clearly detail the proposed roof colour of the proposed development.
- (iii) The Applicant shall submit revised plans and particulars, which clearly detail any proposed changes to the boundary walls and associated boundary treatments. This shall include the height, finish, colour, material.
- (iv) If any submission resulting from the above requires the submission of additional data which alters your original proposal and the Planning Authority on receipt of the submission consider it to be significant, you may be required to publish a notice in an approved newspaper in accordance with S.34(8) of the Planning and Development Act 2000-2023. You should not publish any notices unless and until such time as the Planning Authority issues you with a notification to do so.

Please Note: Any response to a Further Information Request for an Online application should ONLY be made Online via the ePlanning Portal.

FURTHER INFORMATION



Ryan Keleghan

Assistant Planner

Date: 21/05/2026

RECOMMENDATION

ACCEPTED

26 May 2026

SIGNED: 

Lisa Carroll

A/Senior Executive Planner

Date: 26.05.2026