

Meath County Council



Planning Report

To: Gerard Kellett, Senior Executive Planner

From: Stephen O' Brien, Executive Planner

File Number: 26/60922

Applicant: Sean & Aoife Coyle

Development Address: Castle Rock, Flowerhill, Navan, Co. Meath C15 A060

Application Type: Permission & Retention Permission

Date of Site Inspection: 29th July 2026 & 5th August 2026

Date of Report: 10th September 2026

Date Decision Due: 15th September 2026

Development Description: The development will consist of RETENTION PERMISSION for the partially complete construction of a replacement single storey dwelling & retention permission for a steel modular dwelling within the revised site boundary to this property. PERMISSION is sought for the completion of the single storey replacement dwelling and all associated site works and services.

1. Site Location & Description:

1.1 Site Description:

The application site measures 0.247ha and is located in the townland of Blackcastle Demesne within the settlement of Navan and is zoned A1-Existing Residential. Vehicular access to the site is existing on a roundabout (The Round O Roundabout) where there is an exit towards Slane (N-51) to the north, exit towards Nobber (R-162) to the northwest, exit towards Navan Town Centre (N-51) to the west and a one-way system to the south of the site that is Flowerhill (R-162). There is five exits off this roundabout including the exit for the existing dwelling on site. The subject site is brownfield at present where there is an existing house under construction at present along with a modular unit. There are 7 existing semi-detached dwellings located immediately to the side (north) of the site that all have a vehicular entrance onto the Slane Road. The existing 'Round O' roundabout is located to the side (west), the *Round O Pub & Restaurant* is located to the northwest, dwellings within Herbert Place are located to the rear (east), with a dwelling, school, apartments and commercial units located further to the side (south) of the site. The subject site is located approximately 470m north of the confluence with the River Boyne and River Blackwater.

The subject site is located in the townland of Blackcastle Demesne within the settlement of Navan and is zoned A1-Existing Residential according to the Meath County Development Plan 2021-2027. There are no National Monuments or Protected Views within the application site. NIAH 14007069 is located less than 100m south of the site *Flower Hill National School* that is a detached five-bay single-storey former national school, built 1887, with brick dressings, decorative timber barge boards, pointed window openings, leaded lights and entrance porch.

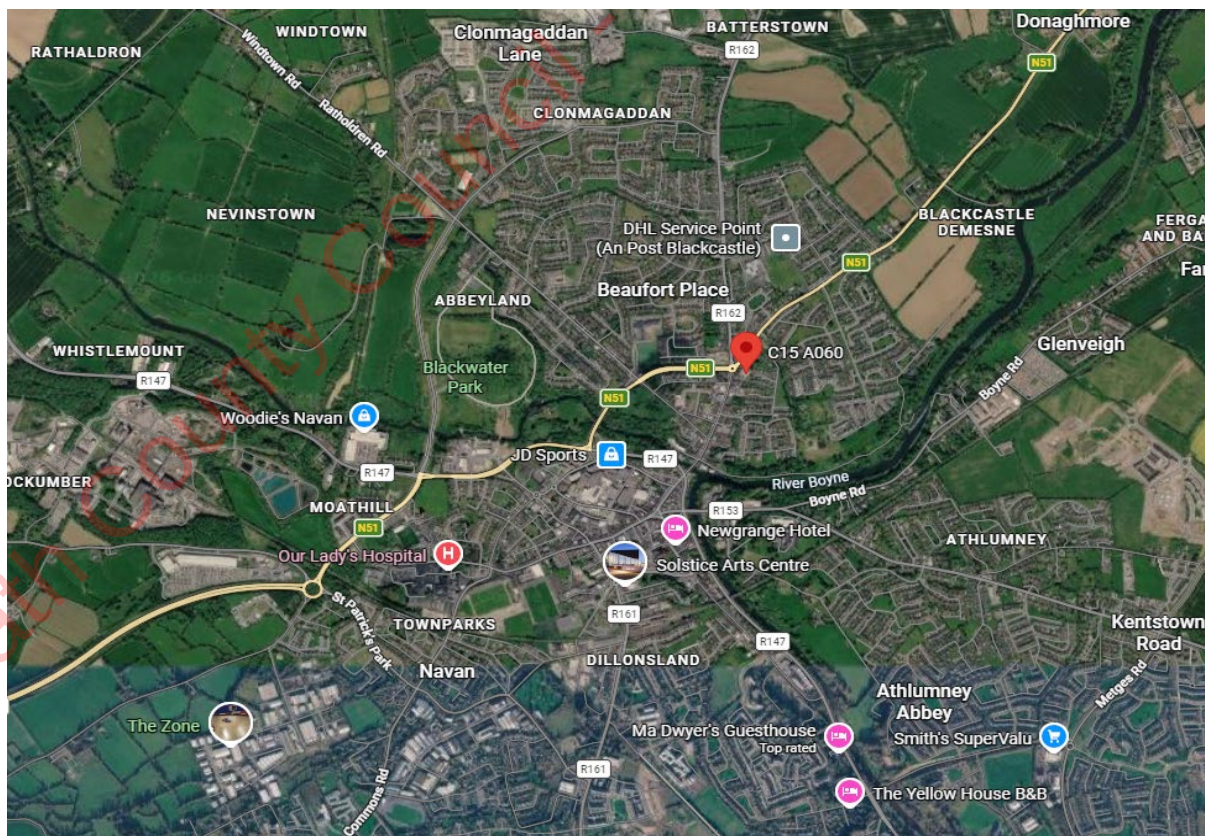


Figure 1: Site Location (Source: Google Maps, September 2026)



Figure 2: Aerial Photograph of Site Location (Source: Google Maps. Date of Capture: September 2026).

Site Photographs













2. Proposed Development:

The subject application seeks permission of development for *'retention of the partially complete construction of a replacement single storey dwelling & retention permission for a steel modular dwelling within the revised site boundary to this property. Permission is sought for the completion of the single storey replacement dwelling and all associated site works and services'*. The single storey dwelling to be retained comprises a floor area of 272sqm and the floor area of the modular unit to be retained comprises of 61.8sqm.

3. Planning History:

Pl. Ref. 22/63: Sean & Aoife Coyle **granted** permission for the construction of a single storey extension to the rear and sides of the existing single storey dwelling, alterations and renovations to the existing single storey dwelling, the demolition of the existing garage, boiler room and utility room along with the construction of a detached domestic garage with garden room and all associated site works (2022).

4. National and Local Planning Policy:

Project Ireland 2040, National Planning Framework

Project Ireland 2040, National Planning Framework (NPF) recognises that there is a continuing need for housing provision for people to live and work in Ireland's countryside. Careful planning is required to manage demand in the most accessible countryside around cities and towns, focusing on the elements required to support the sustainable growth of rural economies and rural communities.

Sustainable Rural Housing Guidelines for Planning Authorities (Department of Environment, Heritage and Local Government, 2005)

The Guidelines advise that a tailored approach should be taken to rural housing based on the spatial characteristics of the rural area in question.

Regional Spatial and Economic Strategy (RSES)

The Regional Spatial and Economic Strategy (RSES) for the Eastern and Midland (EMRA) for the period 2019-2031 came into force on 28/06/19 and is a strategic plan and investment framework to shape the future development of the Region to 2031 and beyond.

Meath County Development Plan 2021-2027

The subject site is located in the townland of Blackcastle Demesne within the settlement of Navan and is zoned A1-Existing Residential where the zoning objective is *'to protect and enhance the amenity and character of existing residential communities'*.

The vision of Navan is, **'For Navan to continue to function and develop as a multi-modal² Key town in Meath; an important employment centre for administrative, retail, health, and education services, where development in the town centre is balanced by investment in the business and industrial parks, which will enhance its attractiveness**

as a place to live, work, and invest and thereby support the creation of a sustainable community’.

5.1.3 Residential Design/Scale

The design and scale of any new residential development shall support the creation of high-quality living environments with higher densities concentrated along public transport corridors and in proximity to the town centre.

As part of the strategy of delivering more compact growth, any development in town centre or strategic locations in the town will be required to deliver higher residential densities in accordance with the requirements of the Sustainable Residential Development and Compact Settlements: Guidelines for Planning Authorities (2024) or any update thereafter. This includes town centre and mixed-use lands and the residential lands to the west of Academy Street and residential lands adjacent to future rail stations in the town. These lands would be the most appropriate locations for apartment developments and should be considered as part of the household mix in these locations.

There is a requirement under the ‘Urban Development and Building Height Guidelines’ (2018) for Planning Authorities to identify areas where increased building height will be actively pursued for both redevelopment, regeneration, and infill development to secure the objectives of the NPF and RSES.

The traditional building height in Navan is characterised by low-rise buildings 2-4 storeys in height. More recent developments are up to 5 storeys. It will be an objective of this Plan to preserve the general character of the existing streetscape in the town, with any new development on greenfield or infill lands designed and appropriately scaled to take account of existing building heights in the area. Within the Master Plan areas, support will be given to the development of landmark buildings. This does not always mean the construction of a tall building but rather can also include the construction of a building of notable design.

Higher buildings on prominent/key sites in the town will be considered on a case-by-case basis. The underlying assessment criteria for a building of height will be the contribution it makes to the built form in the area. A design statement would be required to be submitted with any planning application that addresses the design principles, scale and massing of the building(s) in addition to the impacts the development would have on the local streetscape and residential amenities of the area. Any potential impacts of the building on the micro-climate around the building would also be required to be assessed.

A more detailed analysis of recommended building heights in the town will be set out in the Local Area Plan for Navan.

Settlement and Housing

NAV OBJ 1



To support and encourage residential development on under-utilised land and/or vacant lands including 'infill' and 'brownfield' sites, subject to a high standard of design and layout being achieved.

NAV OBJ 4

To support the prioritisation of residential development in locations that adjoin or provide easy access to the town centre.

Infrastructure

INF POL 5 To require that in the case of all developments where public watermain are available or likely to be available and have sufficient capacity, that such development shall connect to them.

INF POL 16 To ensure that all planning applications for new development have regard to the surface water management policies provided for in the GDSDS.

INF OBJ 15 To require the use of SuDS in accordance with the Greater Dublin Regional Code of Practice for Drainage Works for new developments (including extensions).

INF OBJ 16 To ensure that all new developments comply with Section 3.12 of the Greater Dublin Regional Code of Practice for Drainage Works V6 which sets out the requirements for new developments to allow for Climate Change.

INF OBJ 18 To ensure that new developments provide for the separation of foul and surface water drainage networks within application site boundaries.

INF OBJ 25 To require the use of Sustainable Urban Drainage Systems (SuDS) to minimise and limit the extent of hard surfacing and paving and require the use of sustainable drainage techniques where appropriate, for new development or for extensions to existing developments, in order to reduce the potential impact of existing and predicted flooding risks.

INF OBJ 26 To discourage the use of hard non-porous surfacing and pavements within the boundaries of rural housing sites.

Wastewater

INF OBJ 13 To ensure that septic tanks, proprietary effluent treatment systems and percolation areas are located and constructed in accordance with the recommendations and guidelines of the EPA and the Council in order to minimise the impact on surface water of discharges.

RD POL 46 To ensure that new development is guided towards sites where acceptable wastewater treatment and disposal facilities can be provided, avoiding sites where it is inherently difficult to provide and maintain such facilities. Sites prone to extremely high water tables and flooding or where groundwater is particularly vulnerable to contamination shall be avoided.



RD POL 47 To ensure that the site area is large enough to adequately accommodate an on-site treatment plant and percolation area.

RD POL 48 To ensure all septic tank/proprietary treatment plants and polishing filter/percolation areas satisfy the criteria set out in the Environmental Protection Agency 'Code of Practice Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10)' (2021) (or any other updated code of practice guidelines) in order to safeguard individual and group water schemes.

RD POL 49 To require a site characterisation report to be furnished by a suitably qualified competent person. Notwithstanding this, the Planning Authority may require additional tests to be carried out under its supervision.

RD POL 50 To ensure a maintenance agreement or other satisfactory management arrangements are entered into by the applicant to inspect and service the system as required. A copy of this must be submitted to the Planning Authority.

RD POL 51 To ensure that direct discharge of effluent from on site waste water disposal systems to surface water is not permitted.

RD POL 52 To ensure wastewater treatment plants discharging into the Boyne catchment or to coastal Natura 2000 sites are suitably maintained and upgraded in advance of any additional loadings beyond their capacity in order to protect water quality, as required.

RD POL 53 To promote good practice with regard to the siting and design of septic tanks and the maintenance of existing tanks. A high level of scrutiny will be placed on applications within 2km of watercourses in the Boyne catchment. Proposals in this area shall not have an adverse impact on local water quality that could affect the qualifying interests of the cSAC and SPA.

Transport

RD POL 38 To ensure that all development accessing off the county's road network is at a location and carried out in a manner which would not endanger public safety by way of a traffic hazard.

RD POL 40 To restrict new accesses for one-off dwellings where the 80km per hour speed limit currently applies in order to safeguard the specific functions and to avoid the premature obsolescence of identified regional and important county link roads (see Map No 9.2.) through the creation of excessive levels of individual entrances and to secure the investment in non-national roads.

Boundaries

HER POL 37 To encourage the retention of hedgerows and other distinctive boundary treatments in rural areas and prevent loss and fragmentation, where practically possible. Where removal of a hedgerow, stone wall or other distinctive boundary treatment is unavoidable, mitigation by provision of the same type of boundary will be required.



HER POL 53 To discourage proposals necessitating the removal of extensive amount of trees, hedgerows and historic walls or other distinctive boundary treatments.

RD POL 41 To avoid the removal of existing roadside boundaries where they are more than 3 m from the road edge (edge of carriageway), except to the extent that this is needed for a new entrance, and where required for traffic safety reasons. (Please refer to policies contained in Section 8.9.7 Woodlands, Hedgerows and Trees in this regard).

DM OBJ 11: Existing trees and hedgerows of biodiversity and/or amenity value shall be retained, where possible

Flooding

INF POL 18 To implement the “Planning System and Flood Risk Management – Guidelines for Planning Authorities” (DoEHLG/OPW, 2009) through the use of the sequential approach and application of Justification Tests for Development Management and Development Plans, during the period of this Plan.

INF POL 20 To require that a Flood Risk Assessment is carried out for any development proposal, where flood risk may be an issue in accordance with the “Planning System and Flood Risk Management – Guidelines for Planning Authorities” (DoECLG/OPW, 2009). This assessment shall be appropriate to the scale and nature of risk to and from the potential development and shall consider the impact of climate change.

INF OBJ 20 To implement the Planning System and Flood Risk Management-Guidelines for Planning Authorities (DoEHLG/OPW 2009) or any updated guidelines. A site-specific Flood Risk Assessment should be submitted where appropriate.

Chapter 11 shall be consulted throughout the assessment of this application.

All other relevant Section 28 Planning Guidelines have been considered in this assessment of this application.

All other relevant Section 28 Planning Guidelines have been considered in this assessment of this application.

5. Submissions:

None.

6. Representations:

None.

7. External Referrals:

None.

8. Internal Referrals:

None.



9. Pre-Planning Consultation:

Section 19 of the planning application form confirms that a pre-planning consultation was not undertaken in relation to the proposed development.

10. Planning Assessment:

In summary, the main planning considerations in the determination of this application are:

- Principle of Development;
- Layout & Design
- Access & Other Site Services.
- Flooding
- Archaeology & Cultural Heritage

Each item will be expanded on in further detail below.

10.1 Principle of Development

The application site measures 0.247ha and is located in the townland of Blackcastle Demesne within the settlement of Navan and is zoned A1-Existing Residential. The zoning objective for this is *'to protect and enhance the amenity and character of existing residential communities'*.

It is noted that the same applicant was granted permission under Pl. Ref. 22/63 for the construction of a single storey extension to the rear and sides of the existing single storey dwelling, alterations and renovations to the existing single storey dwelling, the demolition of the existing garage, boiler room and utility room along with the construction of a detached domestic garage with garden room and all associated site works in 2022.

The principle of development for a dwelling at this location has been long established. The applicant has stated in a cover letter that during the course of renovation works, significant structural issues were discovered with the original dwelling.

As the proposed development is associated with an existing dwelling on site in the form of a replacement dwelling in an urban area, it is generally considered to be acceptable where the planning authority is satisfied that the development would be compatible with the overall policies and objectives for the zone, would not have undesirable effects, and would otherwise be consistent with the proper planning and sustainable development of the area.



Figure 16: Proposed Site Layout Plan

10.2 Layout & Design

The subject site is brownfield at present where there is an existing house under construction at present along with a modular unit. There are 7 existing semi-detached dwellings located immediately to the side (north) of the site that all have a vehicular entrance onto the Slane Road. The existing 'Round O' roundabout is located to the side (west), the *Round O Pub & Restaurant* is located to the northwest, dwellings within Herbert Place are located to the rear (east), with a dwelling, school, apartments and commercial units located further to the side (south) of the site. The subject site is located approximately 470m north of the confluence with the River Boyne and River Blackwater.

The subject application seeks permission of development for retention of the partially complete construction of a replacement single storey dwelling & retention permission for a steel modular dwelling within the revised site boundary to this property. Permission is sought for the completion of the single storey replacement dwelling and all associated site works and services. The single storey dwelling to be retained comprises a floor area of 272sqm and the floor area of the modular unit to be retained comprises of 61.8sqm.

The original dwelling and linked garage had a floor area of 177sqm. Under PI. Ref. 22/63, 29sqm was to be demolished that was to leave the floor area at 148sqm. The extension was to increase the floor area by 172sqm and would bring the total floor area to 320sqm. The



garden room under this proposal was to have a floor area of 58sqm that was to be located to the rear of the house.

The applicant has stated the following in a cover letter, *'It would appear that there was no foundations to some of the loadbearing internal walls to the original dwelling, and on advice from the engineer, the contractor demolished the original dwelling with the intention of re-building the original dwelling as per the intended plans. The reconstruction of the replacement dwelling has commenced, and the original rising walls to the original dwelling have been retained with new walls built over'*.

The partially complete replacement single storey dwelling to be retained is to comprise a floor area of 272sqm. This is substantially smaller to that that was granted on site under Pl. Ref. 22/63. This replacement dwelling is to comprise of an entrance hall, open plan kitchen/dining/living area, boot room, two bathrooms, utility and four bedrooms (one ensuite). The materials are to comprise of a render finish as per plans submitted. The structure is to have a ridge height of 6m and is over 1m taller than what was permitted on site previously. The replacement dwelling to be retained and completed is in approximately the same position as the existing dwelling that was on site. The outline of the original dwelling is highlighted blue on the attached Site Layout Plan. Based on the design, scale, bulk and size of the proposed replacement dwelling there are no concerns even though the ridge height has increased by 1m and the floor area has significantly reduced to that which was previously permitted.

The applicants are applying for retention of a modular unit that they are currently living in. This unit is located to the south (12.7m away) of the replacement dwelling. The modular unit is 61.8sqm with a ridge height of 3.75sqm. The structure comprises of corrugated black metal sheeting (see pictures attached). The structure comprises of a dining/kitchen/lounge area, utility, a bathroom and two bedrooms. The modular unit has a width of 5.9m and a length of 11.39m.

There are no concerns with overlooking of any nearby adjoining properties and also no concerns with the height, design, scale and bulk of the development at this location. The subject site is well screened from the local road, and the design is sympathetic to the existing character of the original dwelling house.

From a review of the submitted application and from conducting a site visit, the Planning Officer considered the proposal would not be out of character with the area and would not have significant impacts on the residential and visual amenity on lands zoned A1 Existing Residential within the settlement of Navan. Overall, the planning authority is satisfied that the proposed retention permission for partially complete construction of a replacement single storey dwelling along with permission to complete the single storey replacement dwelling is acceptable at this location.

Planning Report



DWELLING PLANS, ELEVATIONS & SECTION A-A

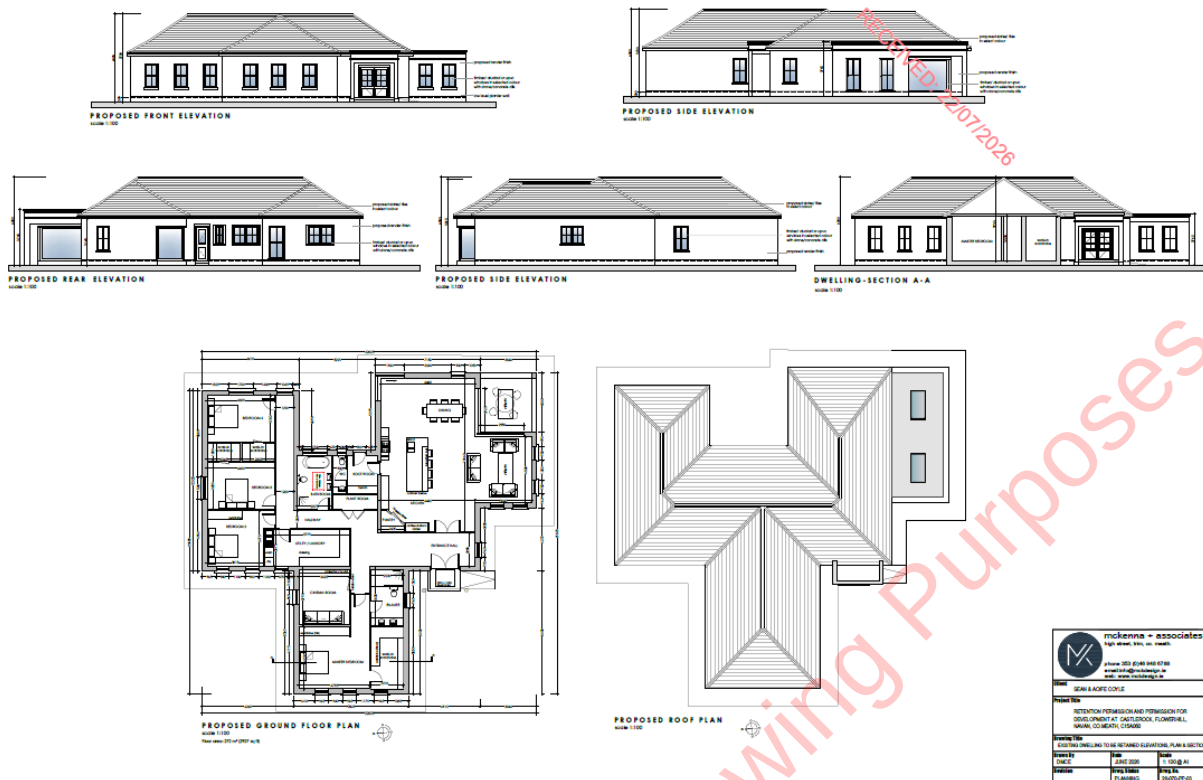


Figure 17: Plans & Elevations of Dwelling

STEEL MODULAR DWELLING TO BE RETAINED PLANS, ELEVATIONS & SECTION B-B

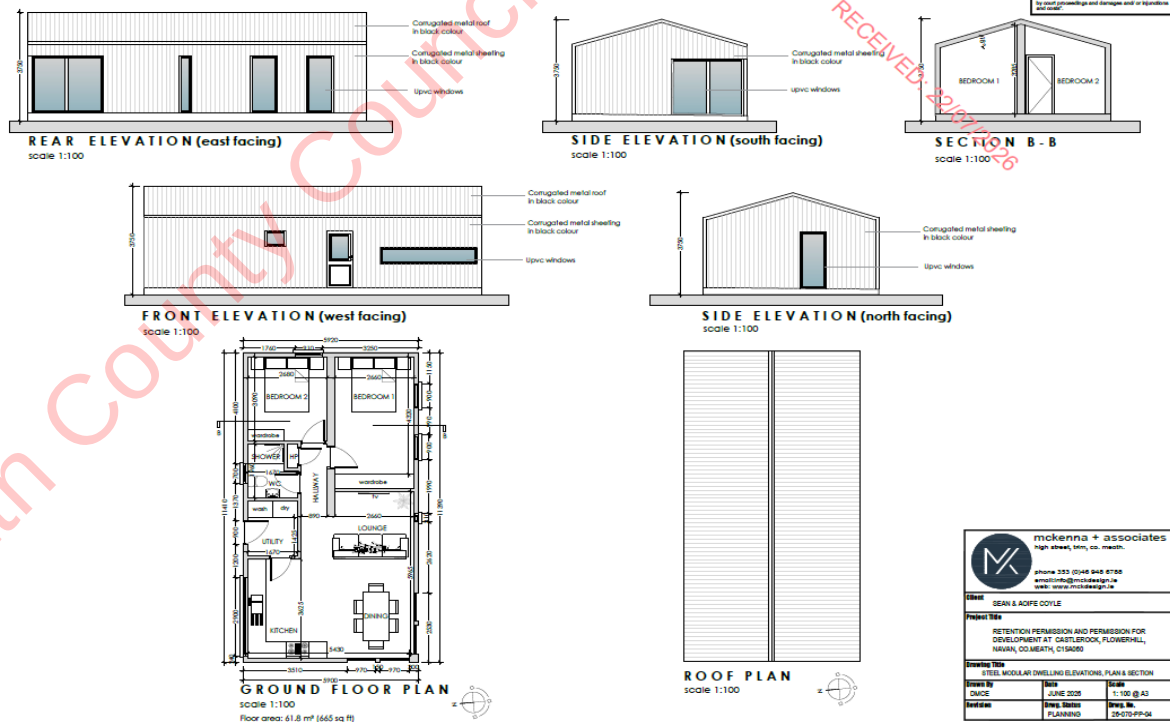


Figure 18: Plans & Elevations of Modular Unit



10.3 Access & Other Site Services

Access

Vehicular access to the site is existing on a roundabout (The Round O Roundabout) where there is an exit towards Slane (N-51) to the north, exit towards Nobber (R-162) to the northwest, exit towards Navan Town Centre (N-51) to the west and a one-way system to the south of the site that is Flowerhill (R-162). There is five exits off this roundabout including the exit for the existing dwelling on site. There are no changes to the existing entrance on site.

Surface Water Drainage

Section 20 of the Application Form indicates that surface water drainage is via soakpits. This is indicated to the rear of the dwelling house as per plans submitted.

Water Supply

Section 20 of the Application Form indicates water supply is existing via the public mains.

Wastewater Treatment

Section 20 of the Application Form indicates wastewater treatment is existing via the public sewer.

10.4 Flooding

The County Development Plan states that planning applications will be assessed in accordance with 'The Planning System and Flood Risk Management Guidelines for Planning Authorities'. It notes that "The Council will ensure that only developments consistent with the overall policy and technical approaches of these Guidelines will be approved and permission may be refused where flood issues have not been, or cannot be, addressed successfully and where the presence of unacceptable residual flood risks to the development, its occupants or users and adjoining property remains."

The policies in respect of flooding include:

INF POL 18: To have regard to the "Planning System and Flood Risk Management – Guidelines for Planning Authorities" (DoEHLG/OPW, 2009) through the use of the sequential approach and application of the Justification Tests for Development Management and Development Plans, during the period of this Plan.

INF POL 20: To ensure that a flood risk assessment is carried out for any development proposal, where flood risk may be an issue in accordance with the "Planning System and Flood Risk Management – Guidelines for Planning Authorities" (DoECLG/OPW, 2009). This assessment shall be appropriate to the scale and nature of risk to the potential development.

The Meath County Development Plan 2021-2027 refers to Flood Risk Management as a key area of assessment. A review of the area indicates that the application site is not located in an identified flood risk zone in the OPW PFRA Mapping/Strategic Flood Risk Assessment for County Meath carried out for the Meath County Development Plan 2021-2027. The application site is located within Flood Zone C. From a flood risk perspective, there is no objection to the proposed development.



The Applicant has also stated in Section 18 of the application form that the subject site has not flooded in the past.

10.5 Archaeology & Cultural Heritage

NIAH 14007069 is located less than 100m south of the site *Flower Hill National School* that is a detached five-bay single-storey former national school, built 1887, with brick dressings, decorative timber barge boards, pointed window openings, leaded lights and entrance porch. The proposed development will have no impact on said structure.

11. Appropriate Assessment:

Article 6(3) of Council Directive 92/43/EEC (the Habitats Directive) compels competent authorities to undertake an appropriate assessment of any plan or project not directly connected with or necessary to the management of a Natura 2000 site but likely to have a significant effect thereon, either individually or in combination with other plans or projects.

'Appropriate Assessment of Plans and Projects, Guidance for Planning Authorities' (2009) provide advice to planning authorities on their obligations under the Habitats Directive. The document, "Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities", states that where, from the nature, size and location of the development, it is unclear if the proposal will have a significant effect on a Natura 2000 site(s), a Natura Impact Statement will be required. The application site is not within or directly adjoining any designated Natura 2000 site. The following Natura 2000 sites are also located within 15km of the application site:

- River Boyne and River Blackwater SAC (002299) – c. 430m south of site
- River Boyne and River Blackwater SPA (004232) – c. 430m south of site.

The Planning Authority considered the nature, scale and location of the proposed development and other plans and projects (where there could be potential for cumulative or in-combination effects), the conservation objectives/ qualifying interests of European Sites within the vicinity of the site and the distance to European Sites, any protected habitats or species, the WFD catchment location, the underlying aquifer type and vulnerability and the excavation works, emissions, transportation requirements and duration of construction and operation and cumulative impacts associated with the proposal.

The Planning Authority's Screening for Appropriate Assessment has considered the potential effects including direct, indirect and in-combination effects of the proposed development, individually or in combination with the permitted developments and cumulatively with other plans or projects on European Sites. The Planning Authority concludes that the proposed development (entire project), by itself or in combination with other plans and developments in the vicinity, would not be likely to have a significant effect on European Site(s). In light of this, it is considered that a Stage 2 Appropriate Assessment (Natura Impact Statement) is not required in this instance.



12.Environmental Impact Assessment:

The Planning Authority is required to determine if the proposed development requires an Environmental Impact Assessment (EIA). This determination is based on the requirements set out in Schedule 5 of the Planning & Development Regulations 2001-2025, that does not exceed the stated threshold (as per Article 92). In this regard, the residential-type extensions to individual dwelling properties are not listed in Schedule 5 therefore, a mandatory EIA is not required.

The Planning Authority must also determine if a sub-threshold EIAR is required. The proposed development is significantly below the relevant threshold for residential development and, will not by itself, or in combination with other developments, exceed the said threshold. Therefore, the Planning Authority is satisfied that a sub-threshold EIAR is not required.

13. Development Contributions:

In the case of a replacement house, a pro rata exemption shall be applied as follows: the floor area of the replacement (new) dwelling shall be calculated in accordance with the Meath County Council Development Contribution Scheme 2024 - 2029. The floor area of the dwelling to be replaced (148m²) shall be calculated as a percentage of the replacement (272m²) dwelling and this percentage shall be deemed exempt from development contributions. Development contributions of 46% shall apply.

Temporary planning permissions for a maximum of 5 years shall be levied at a rate equivalent to 33% of the development contribution normally attributable to a permanent development of that class and scale – modular dwelling 61.8m².

Total development contributions applicable as follows:

Surface Water Drainage **€306**

Roads **€3,366**

Social Infrastructure **€2,488**

Total €6,120

14. Recommendation:

It is recommended that RETENTION PERMISSION & PERMISSION can be GRANTED subject to the conditions stipulated in the Schedule hereunder.

Schedule of Conditions

1. The development shall be retained, carried out and completed in accordance with the plans and particulars lodged with the Planning Authority on 22/07/2026 except where conditions hereunder specify otherwise. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars.



Reason: In the interests of the proper planning and development of the area.

2. Prior to the commencement of development details of the proposed boundary treatment between the replacement dwelling and the existing modular unit to the south shall be submitted to the Planning Authority for written agreement. Development shall not commence without the prior written agreement of the Planning Authority and shall there after only be authorised to commence in accordance with the agreed plans.

Reason: In the interest of residential amenity.

3. The architectural design and external finishes of the development hereby permitted shall comply with the details indicated in the documentation received by the Planning Authority on 22/07/2026 unless otherwise agreed in writing with the Planning Authority.

Reason: In the interest of the visual amenities of the area.

4. (a) All surface water from the proposed development shall discharge to a suitably sized soakaway within the site and this shall be in accordance with the requirements of BRE365. No surface water shall be discharged directly to an existing drainage ditch/watercourse.

(b) As per the Greater Dublin Strategic Drainage Study, Volume 3 Environmental Management, soakaways shall not be constructed within 5 metres of the foundations of the buildings or under a road and adequately sized to cater for the site.

(c) All surface water design/work shall comply fully with the Greater Dublin Strategic Drainage Study (GDSDS) Regional Drainage Policies Volume 2, for New Developments.

Reason: To ensure orderly collection, treatment and disposal of surface water and in the interests of road safety and environmental health.

5. The site and building works required to implement the development shall only be carried out between the hours of 8.00 am to 6.00 pm Monday to Friday and 8.00 am to 2.00 pm on Saturdays. No activity on site Sundays and Bank Holidays. In exceptional circumstances, hours of operation may be extended for a specified period of time subject to written agreement from the Planning Authority.

Reason: To safeguard the amenities of adjoining residential occupiers.

6. All service cables associated with the proposed development (such as electrical, communal television, telephone and public lighting cables) shall be run underground within the site.

Reason: In the interest of orderly development and the visual amenities of the area.



7. The developer shall pay the sum of **€306.00** to the Planning Authority as a contribution towards expenditure that was and/or that is proposed to be incurred by the Planning Authority in the provision of surface water drainage infrastructure by the Council benefiting development in the area of the Authority, as provided for in the Contribution Scheme of Meath County Council adopted in accordance with the provisions of Section 48 of the Planning & Development Acts 2000 - 2023. Payment of this sum shall be made prior to commencement of development unless the phasing of payments and the giving of security to ensure payment in full is agreed in writing with the Planning Authority prior to the commencement of development. The above sum shall apply until 31st December 2026 and shall be subject to review on that date and to annual review thereafter unless previously paid. The contribution rates shall be updated effective from January 1st each year during the lifetime of the Development Contribution Scheme in accordance with the Wholesale Price Indices - Building and Construction (Capital Goods) published by the Central Statistics Office.

Reason: The provision of such surface water drainage in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

8. The developer shall pay the sum of **€3,366.00** to the Planning Authority as a contribution towards expenditure that was and/or that is proposed to be incurred by the Planning Authority in the provision, refurbishment, upgrading, enlargement or replacement of public roads and public transport infrastructure by the Council benefiting development in the area of the Authority, as provided for in the Contribution Scheme of Meath County Council adopted in accordance with the provisions of Section 48 of the Planning & Development Acts 2000 - 2023. Payment of this sum shall be made prior to commencement of development unless the phasing of payments and the giving of security to ensure payment in full is agreed in writing with the Planning Authority prior to the commencement of development. The above sum shall apply until 31st December 2026 and shall be subject to review on that date and to annual review thereafter unless previously paid. The contribution rates shall be updated effective from January 1st each year during the lifetime of the Development Contribution Scheme in accordance with the Wholesale Price Indices - Building and Construction (Capital Goods) published by the Central Statistics Office.

Reason: The provision of such roads and public transport infrastructure in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

9. The developer shall pay the sum of **€2,488.00** to the Planning Authority as a contribution towards expenditure that was and/or that is proposed to be incurred by the Planning Authority in the provision and extension of social infrastructure (open spaces, recreational and community facilities, amenities and landscaping works) by the Council benefiting development in the area of the Authority, as provided for in the Contribution Scheme of Meath County Council adopted in accordance with the provisions of Section 48 of the Planning & Development Acts 2000 - 2023. Payment of this sum shall be made prior to commencement of development unless the phasing



of payments and the giving of security to ensure payment in full is agreed in writing with the Planning Authority prior to the commencement of development. The above sum shall apply until 31st December 2026 and shall be subject to review on that date and to annual review thereafter unless previously paid. The contribution rates shall be updated effective from January 1st each year during the lifetime of the Development Contribution Scheme in accordance with the Wholesale Price Indices - Building and Construction (Capital Goods) published by the Central Statistics Office.

Reason: The provision of such social infrastructure in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

GRANT

Stephen O' Brien

Stephen O' Brien

Executive Planner

Date: 10/09/2026

RECOMMENDATION

ACCEPTED

15 September 2026

SIGNED:

Gerard Kellett

Gerard Kellett

Senior Executive Planner

Date: 15/09/2026

Advice Notes

1. The Applicant is advised that in accordance with the provisions of Section 34(13) of the Planning and Development Act 2000-2023 a person shall not be entitled solely by reason of a permission to carry out any development.
2. It should be clearly understood that a grant of permission does not relieve the Applicant/ Developer of the responsibility of complying with any requirements under other statutory codes affecting the development.
3. This permission does not confer title. It is the responsibility of the Applicant/Developer to ensure that they control all the lands necessary to carry out the proposed development.
4. This permission does not alter or extinguish or otherwise affect any existing or valid right of way crossing, impinging or otherwise pertaining to these lands.
5. A grant of planning permission does not entitle a person to construct a development that would oversail, overhang or otherwise physically impinge upon an adjoining property without the permission of the adjoining property owner
6. The Applicant/Developer shall make all necessary arrangements to apply for and obtain a Road Opening License(s) from Meath County Council in respect of all openings in public areas and shall pay Road Opening License fees and Road



Restoration costs. The Applicant/Developer shall abide by all of the conditions as set out in said license(s).

7. During construction the Applicant should provide adequate off carriageway parking facilities for all traffic associated with the proposed development, including delivery and service vehicles/trucks. There shall be no parking along the public road.
8. No muck, dirt, debris or other material should be deposited on the public road or verge by machinery or vehicles travelling to or from the site during the construction phase. The Applicant/Developer should arrange for vehicles leaving the site to be kept clean.
9. All waste generated during construction, including surplus excavation material to be taken off-site, shall be only recovered or disposed of at an authorised site which has a current Waste Licence or Waste Permit in accordance with the Waste Management Acts, 1996 to 2008. This shall not apply to the reuse of excavated uncontaminated soil and other naturally occurring material within the Applicant's site boundary.
10. In accordance with the Wildlife Act, any necessary hedgerow removal should be carried out outside of the main bird nesting season (March 1st to August 31st, inclusive).
11. All Applicants are advised to make themselves aware of the requirements of the Building Control Regulations 1997 to 2015 and the Construction Products Regulations (CPR) (Regulation (EU no. 305/2011)). Information leaflets can be viewed or downloaded from the Department of Environment, Community and Local Government website <http://www.environ.ie/en/>.
12. Where the Applicant/Developer proposes to connect to a public water/wastewater network operated by Irish Water, the Applicant must sign a connection agreement with Irish Water prior to the commencement of the development and adhere to the standards and conditions set out in that agreement.
13. In the interest of Public Health and Environmental Sustainability, Uisce Éireann Infrastructure capacity requirements and proposed connections to the Water and Wastewater Infrastructure will be subject to the constraints of the Uisce Éireann Capital Investment Programme. All work to comply with current Uisce Éireann Code of Practice for Water and Wastewater. Any proposals by the Applicant to divert or build over existing water or wastewater services should be submitted to Uisce Éireann for written approval prior to works commencing.
14. In the event it is necessary to import soil and stone or topsoil for any element of the proposed development to Applicant shall ensure a Certificate of Registration or Waste Facility Permit as per the Waste Management (Facility and Registration) Regulations 2007, as amended is secured in advance of the works or an under Article 27 declaration submitted to the Environmental Protection Agency.



15. The reuse of excavated soil and stone being reused within the curtilage of the proposed development will have no waste implications here by virtue of non-application of the Act, as referenced under Article 4 of the European Community (Waste Directive Regulations) 2011. Any soil and stone deemed surplus to requirements and that is to be exported from the site should be treated as either a Waste (removal to an appropriately authorised facility) or a by-product (Under Article 27 declaration) and not both.
16. The production and use of waste derived aggregates should not be used onsite in the absence of an Article 28 'End of Waste' status issued by the Agency. All waste derived onsite shall be removed to an appropriately licensed facility and there will be NO crushing conducted onsite without receiving a Waste Facility Permit or Certificate of Registration from Meath County Council.
17. The Applicant is advised to contact the ESB in advance of commencement of construction in relation to works adjacent to electricity infrastructure.
18. A Fire Safety Certificate may be required for elements of the development under Part III of the Building Control Regulations.

Note 1: Fire safety issues with regard to the design, layout and construction of the proposed buildings, as well as all proposed active and passive fire protection systems will be examined in more detail by the Fire Officer at certification stage.

Note 2: The design of dwelling units should incorporate the relevant provisions of Technical Guidance Document B, Volume 2, Dwelling Houses.

19. Planning Compliance must be submitted (hard copies not required) by email to planningcompliance@meathcoco.ie and must include a cover letter stating the condition number(s) the submission refers to and outlining relevant compliance issues together with the appropriate drawings/reports in PDF format.