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meath county council

Meath County Council

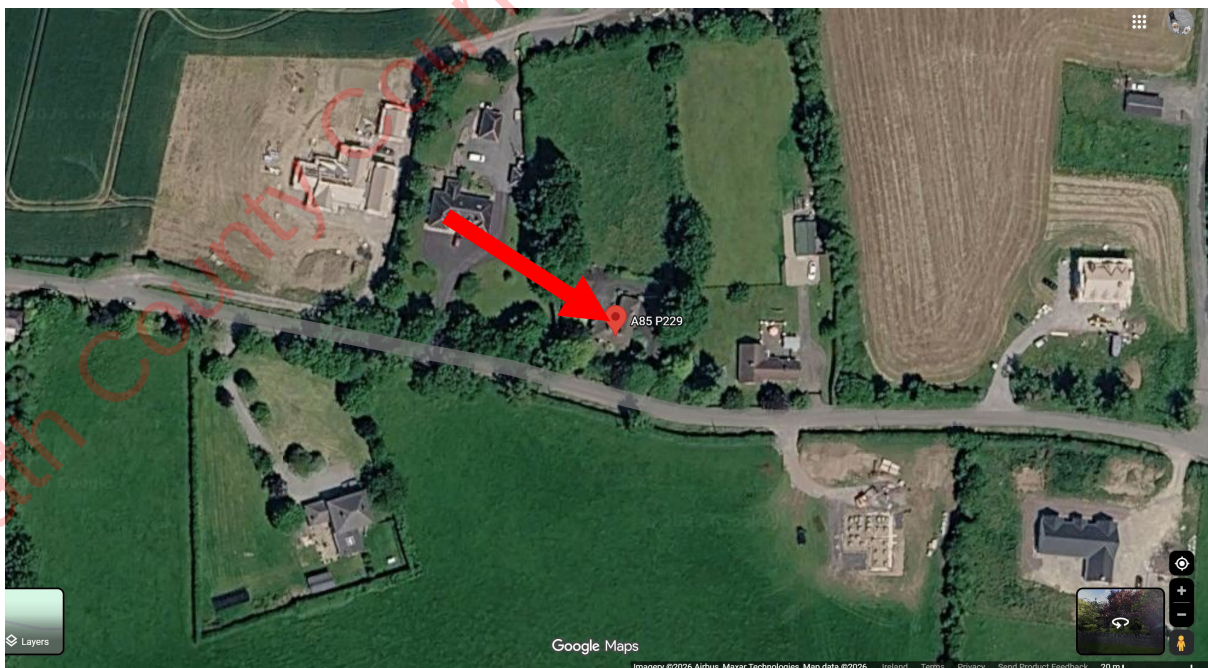
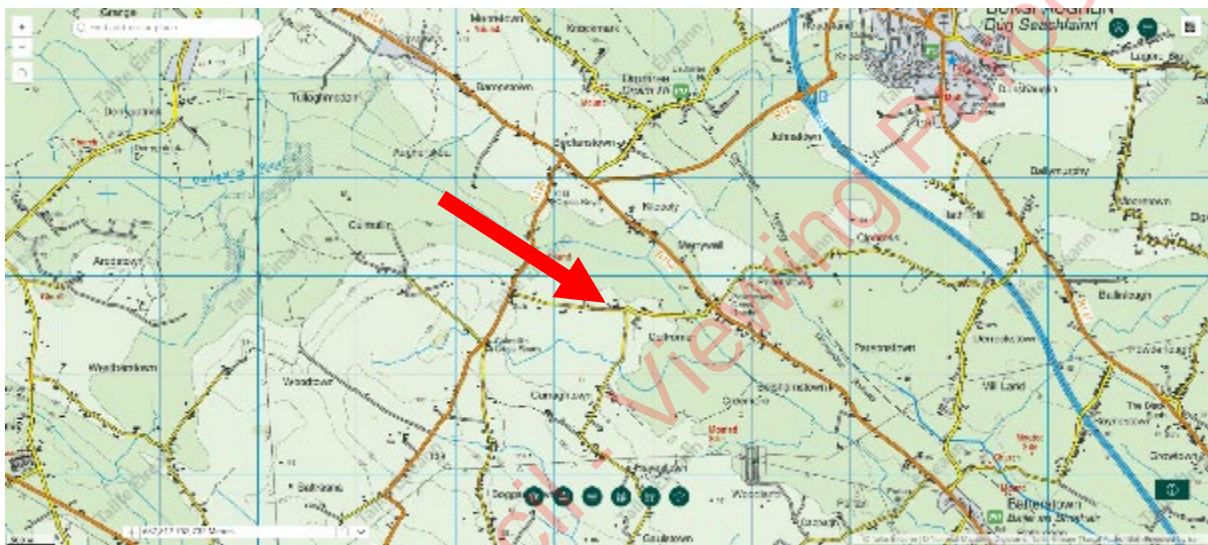
Planning Report

To:	Sandra Carrie, A/ Senior Executive Planner
From:	Oisín Kerr/Assistant Planner
File Number:	2660324
Applicant:	Adrian and Lavinia Puicar
Development Address:	Culmullin, Drumree, Co. Meath A85 P229
Application Type:	PERMISSION
Date of Site Inspection:	7/05/2026
Date of Report:	14/05/2026
Date Decision Due:	14/05/2026
Development Description:	<i>a) removal of existing chimneys and front porch, and b) construction of a new extension to front of existing dwelling, c) change of material finish to existing dwelling, d) construction of a two storey extension to rear of dwelling, with rooflights, e) widening and splaying of existing 2no vehicular entrances to provide safer access, f) new detached shed to rear garden, g) installation of a proprietary sewage treatment system and percolation area, and all associated site works. Existing dwelling: 86.3 sq. m.; Proposed dwelling: 344.8 sq. m.</i>

1.0 Site Location & Description:

The site measures 0.4 ha and is located in the townlands of Culmullin, approximately 5 km southwest of Dunshaughlin Town Centre. The site is located on a county road of L-6206, which is 1.2 west of the R-154 and 800 m east of the R-125 which are both listed as a *Future Access Strategic Corridors* in the CDP. The sites boundary consists of established planting and hedges running down along the side and to the rear. The area is zoned RA rural area and is designated a *rural area under strong urban influence*. The Landscape Character Type is No. 12, *Tara Skryne Hills, Landscape Value: Exceptional*, with the Landscape Sensitivity considered *high* in the LCA.

There are no Protected Structures, National Monuments or Protected Views within or around the application site.





2.0 Proposed Development

The subject application seeks permission for a large extension to the rear of an existing single story cottage type dwelling.

3.0 Planning History

A review of the Meath County Council Planning Register indicates no recent planning history at the subject site.

4.0 National and Local Planning Policy

- Project Ireland 2040, The National Planning Framework (NPF)
- The Regional Spatial and Economic Strategy (RSES) for the Eastern and Midland (EMRA) 2019-2031.

- Meath County Development Plan 2021-2027.
Development Management Standards
- Chapter 11 of the Meath County Development Plan 2021-2027 sets out the development management standards.
 - Section 11.5.25 of the Development Plan relates to extensions in urban and rural areas. The following objectives are relevant:
 - DM OBJ 50: All applications for residential extensions in urban and rural areas shall comply with the following criteria:
 - High quality design which respects, harmonises and integrates with the existing dwelling in terms of height, scale, materials used, finishes, window proportions, etc;
 - The quantity and quality of private open space that would remain to serve the house
 - Flat roof extensions, in a contemporary design context, will be considered on their individual merits;
 - Impact on amenities of adjacent residents, in terms of light and privacy. Care should be taken to ensure that the extension does not overshadow windows, yards or gardens or have windows in the flank walls which would reduce a neighbour's privacy;
 - Extensions which break the existing front building line will not normally be acceptable. A porch extension which does not significantly break the front building line will normally be permitted;
 - Dormer extensions shall not obscure the main features of the existing roof, i.e. should not break the ridge or eaves lines of the roof;
 - Proposed side extensions shall retain side access to the rear of the property, where required for utility access, refuse collection, etc.
 - Ability to provide adequate car parking within the curtilage of the dwelling house
 - In all cases where diversion or construction over existing sewerage and/or water mains is required, the consent of Irish Water will be required as part of the application.
- All other relevant Section 28 Planning Guidelines have been considered in this assessment of this application.

5.0 Submissions

None.

6.0 Representations

No councillor representations have been received.

7.0 Prescribed Bodies

None.

8.0 Internal Referrals

Environment Section (General)	Report received, FI required.
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9.0 Pre-Application Consultation

A review of Section 19 of the submitted Application Form indicates that there was no pre-planning consultation held in respect of the proposed development.

10.0 Planning Assessment

The main planning considerations in the determination of this application are:

- Principle of Development
- Design
- Garage
- Impact on Neighbours
- Landscape
- Entrance
- Site Services
- AA & EIA

10.1 Principle of Development

The application site has an RA, Rural Area land use zoning objective which states as follows: *'To protect and promote in a balanced way, the development of agriculture, forestry and sustainable rural-related enterprise, community facilities, biodiversity, the rural landscape, and the built and cultural heritage.'*

Residential use is permitted in the RA zoning subject to compliance with the rural settlement strategy. The proposed development relates to an extension to an existing cottage style dwelling. Having regard to this, the principle of the proposal is considered acceptable subject to a full planning assessment.

10.2 Design

The existing dwelling is 84 sq. m. whilst the proposed extension permission is in relation to a two-story extension to the side and rear of 258.50 sq. m. The proposed extension is located along the northern portion of the site.

There is a vernacular type habitable dwelling with a hipped roof on site. The design proposed is not in compliance with DM OBJ 50 in the CDP, and specifically the policies which protect existing housing stock from being over developed. In this regard, DM

OBJ 50 has not been complied with, and specifically the requirement for '*High quality design which respects, harmonises and integrates with the existing dwelling in terms of height, scale, materials used, finishes, window proportions, etc.*'

Additionally, the proposed extension does not accord with the principles of the Meath Rural House Design Guide in terms of height, scale, bulk and overall massing. There are 7 no. roof profiles visible on the front elevation which overcomplicates the front elevation and lacks symmetry.

The proposed extension over dominates the existing dwelling and should not be an overbearing influence on the existing dwelling. The drawings indicate that the chimneys would be permanently removed. This is not acceptable. Any proposal shall retain the chimneys in their current form, be that as functional or as mock chimneys.

The existing stone wall to the front roadside boundary serves as part of the curtilage of the existing dwelling and thus forms part of the vernacular character of the dwelling. Any new proposal shall retain the stone wall to the front.

Further information is required.

Before submitting the FI, the applicant should be advised to contact the case planner.

10.3 Garage

The proposed garage is to have corrugated steel cladding to the elevations. This not acceptable and doesn't compliment the existing dwelling in appearance or materials proposed.

Further information is required.

10.4 Impact on any neighbours

Given that the site and its neighbouring site is well screened and that this proposal is mainly being developed in the northern direction, no negative effects are anticipated.

10.5 Landscape

The site has established planting on all sides. This should be maintained given the that the landscape is considered to be highly sensitive to development and of exceptional character value.

10.6 Entrance

There are 2 existing vehicular entrances to the site. The applicant is proposing to increase the depth of each entrance to provide for a safer entrance arrangement than is currently on site. It is noted that both entrances are below the required standards of TII Document DN-GEO-03060. However, both entrances are existing and the applicant is improving the situation on site. Therefore, the modifications are considered acceptable in this case.

10.7 Site Services

Environment have made the following comments

The applicant has stated that due to heavy rainfall, the soil percolation tests were not completed and therefore no Site Characterisation Form & Report has been submitted with the application. The applicant has stated in Section 20. of the Planning Application Form (Part 1) the proposed water supply to be a private well. From the documents submitted I have not seen any indication of the location of the private well.

Without the completed site characterisation form & report and with no site layout indicating the location of the private well a complete assessment of the proposal for the treatment of wastewater cannot be undertaken to ascertain compliance with EPA (2021) Code of Practice: Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10).

Wastewater Treatment Recommendation:

*In this regard the Environment section requests **further information** for the following points;*

(a). The applicant shall submit the completed Site Characterisation Form in accordance with EPA (2021) Code of Practice: Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10), which must be completed by a fully qualified site assessor. A copy of the assessor's qualification, i.e. IQQ Certificate in Site Suitability Assessment for On Site Wastewater Treatment and Disposal and up to date professional indemnity insurance to be submitted.

(b). The applicant shall submit a site layout map clearly indicating the location of the trial hole and percolation test areas, the proposed location of the wastewater treatment system and the location of the private well. The site layout shall also indicate associated separation distances ensuring compliance with Table 6.2 EPA (2021) Code of Practice: Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10).

(c). The applicant shall contact Siobhan Johnston, Assistant Scientist, Environment Section, Meath County Council sjohnston@meathcoco.ie prior to submitting FI documentation.

The assessment of the environment section is noted.

Further information is required.

11.0 Appropriate Assessment

Article 6(3) of Council Directive 92/43/EEC (the Habitats Directive) compels competent authorities to undertake an appropriate assessment of any plan or project not directly connected with or necessary to the management of a Natura 2000 site but likely to

have a significant effect thereon, either individually or in combination with other plans or projects.

'Appropriate Assessment of Plans and Projects, Guidance for Planning Authorities' (2009) provide advice to planning authorities on their obligations under the Habitats Directive. The document, "Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities", states that where, from the nature, size and location of the development, it is unclear if the proposal will have a significant effect on a Natura 2000 site(s), a Natura Impact Statement will be required.

The nearest Natura 2000 sites located within 15km are as follows;

- *River Boyne and River Blackwater SAC (Site Code 2299), 12 km north-west of the site.*
- *River Boyne and River Blackwater SPA (Site Code 4232), 12 km north-west of the site.*
- *Rye Water Valley/ Carton SAC (Site Code 001398), 12km south-east of the site.*

The Planning Authority considered, nature, scale and location of the proposed development and other plans and projects (where there could be potential for cumulative or in-combination effects), the conservation objectives/ qualifying interests of European Sites within the vicinity of the site and the distance to European Sites, any protected habitats or species, the WFD catchment location, the underlying aquifer type and vulnerability and the excavation works, emissions, transportation requirements and duration of construction and operation and cumulative impacts associated with the proposal.

The Planning Authority's Screening for Appropriate Assessment has considered the potential effects including direct, indirect and in-combination effects of the proposed development, individually or in combination with the permitted developments and cumulatively with other plans or projects on European Sites. The Planning Authority concludes that the proposed development (entire project), by itself or in combination with other plans and developments in the vicinity, would not be likely to have a significant effect on European Site(s). In light of this, It is considered that a Stage 2 Appropriate Assessment (Natura Impact Statement) is not required in this instance.

12.0 Environmental Impact Assessment

The Planning Authority is required to determine if the proposed development requires an Environmental Impact Assessment (EIA). A single dwelling or extension to the same are not listed in Schedule 5; therefore, a mandatory EIA is not required.

The Planning Authority must also determine if a sub-threshold EIS is required. The proposed development is significantly below the relevant threshold for such residential development and will not, by itself, or in combination with other developments, exceed

the said threshold. Therefore, the Planning Authority is satisfied that a sub-threshold EIS is not required.

13.0 Development Contributions

Development contributions are calculated using the Meath County Development Contribution Scheme 2024-2029.

Domestic extensions less than 100 sq. m. (cumulative) are exempt.

The proposed floor area of the new extension is 258.50 sq. m.

14.0 Conclusion

The applicant has submitted a proposal which does not comply with Development Plan policy and in particular DM OBJ 50 and the principles of the Meath Rural House Design Guide. Concerns related to the design, scale, massing of the proposal and specifically the potential impact on the character of the existing vernacular dwelling.

The applicant has not submitted a Site Characterisation report, which given the proposal is to increase the beds from No.3 to No. 4, is required to fully assess the existing and future loading capacity.

It is recommended that these issues be raised with the applicant.

15.0 Recommendation

In accordance with Section 34(8) of the Planning and Development Acts 2000-2025, it is recommended that further information is required to adequately assess the subject development

Schedule of Further Information

It is therefore recommended that further information be sought as follows:

1. The Planning Authority considers that the proposed extension fails to comply with the development criteria set out in DM OBJ 50 of Meath County Development Plan 2021-2027 and the principles of the Meath Rural House Design Guide by way of its design, scale and massing. The applicant is required to submit revised drawings and plans demonstrating a more appropriately designed extension that is subservient to the existing dwelling on site. Particular regard should be given to the criteria as set out in DM OBJ 50, which states the following; *All applications for residential extensions in urban and rural areas shall comply with the following criteria 'High quality design which respects, harmonises and integrates with the existing dwelling in terms of height, scale, materials used, finishes, window proportions, etc.'*

The applicant should focus on reducing the scale and massing of the proposed extension, with an aim for a more modest and less overbearing effect on the existing vernacular dwelling's character and appearance. The following points should be taken into consideration in preparing a revised design proposal;

- a) The extension should be subservient to the existing vernacular dwelling.
- b) Simplified design proposal that does not negatively impact on the character and appearance of the existing dwelling and accords with the principles of the Meath Rural House Design Guide.
- c) The varying number of roof profiles on the front elevation is not acceptable.
- d) No windows to be provided at first floor level which overlook the private amenity space of neighbouring dwellings.
- e) The stone wall to the front roadside boundary should be retained.
- f) The chimneys should be retained (either as functional or mock chimneys).
- g) Details regarding the proposed garage, elevation and materials proposed.

You are advised to contact the Case Planner, Oisín Kerr for discussion prior to the formal submission of the further information request.

2. (a) The applicant is requested to submit the completed Site Characterisation Form in accordance with EPA (2021) Code of Practice: Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10), which must be completed by a fully qualified site assessor. A copy of the assessor's qualification, i.e. IQQ Certificate in Site Suitability Assessment for On Site Wastewater Treatment and Disposal and up to date professional indemnity insurance to be submitted.

(b). The applicant is requested to submit a site layout map clearly indicating the location of the trial hole and percolation test areas, the proposed location of the wastewater treatment system and the location of the private well. The site layout shall also indicate associated separation distances ensuring compliance with Table 6.2 EPA (2021) Code of Practice: Domestic Waste Water Treatment Systems (Population Equivalent ≤ 10).

(c). The applicant should contact Siobhan Johnston, Assistant Scientist, Environment Section, Meath County Council sjohnston@meathcoco.ie prior to submitting FI documentation.
3. If any submission resulting from the above requires the submission of additional data which alters your original proposal and the Planning Authority on receipt of the submission consider it to be significant, you may be required to publish a notice in an approved newspaper in accordance with S.34(8) of the Planning

and Development Act 2000-2025. You should not publish any notices unless and until such time as the Planning Authority issues you with a notification to do so.

NOTES:

- Any response to a Further Information Request for an Online application should **ONLY** be made Online via the ePlanning Portal.

**FURTHER
INFORMATION**



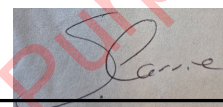
Oisín Kerr
Assistant Planner

RECOMMENDATION

ACCEPTED

14 May 2026

SIGNED: _____



Sandra Carrie
A/Senior Executive Planner
14/05/2026