

Meath County Council



Planning Report

To: Alan Russell, A/Senior Planner

From: Stephen O' Brien, A/Executive Planner

File Number: 25/61204

Applicant: Siobhan & Adrian O' Sullivan

Development Address: Ballymagillen, Maynooth, Co. Meath W23 V5D9

Application Type: Permission

Date of Report: 11th December 2025

Date Decision Due: 9th January 2025

Development Description: The development will consist of PERMISSION for alterations to existing single storey dwelling to include new extension to rear (western side), new treatment unit, percolation area/polishing filter and all associated site works.

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1. Site Location & Description:

1.1 Site Description:

The application site measures 0.17ha and is located in the townland of Ballymagillen approximately 4km north of 'Maynooth Environs' and 5km west of the rural node of Kilcloon. The subject site is brownfield at present and there is a single storey dwelling house located on site. Vehicular access to the site is existing along the local road (L-2212). The local road is located to the front (east), a hedge is located on both sides (north and south) and also to the rear (west). There is existing single storey dwellings located both sides at present. There is a wall located to the front of the site along the roadside boundary. The settlement pattern in the area is ribbon development on this side of the local road, that are a mix of house types along with a number of agricultural complexes in the general area. The subject site is located approximately 3km north of the Co.Meath/Co. Kildare border and 4.4km from *Maynooth University* as the crow flies.

The area is zoned RA as Rural Area. The site is designated a Rural Area Under Strong Urban Influence according to the Meath County Development Plan 2021-2027. There are no Protected Structures, National Monuments or Protected Views within the application site. The site is located within a 'Lowland Landscape, namely 'The Southeast Lowlands, which has a very high landscape character value and a moderate landscape character sensitivity.

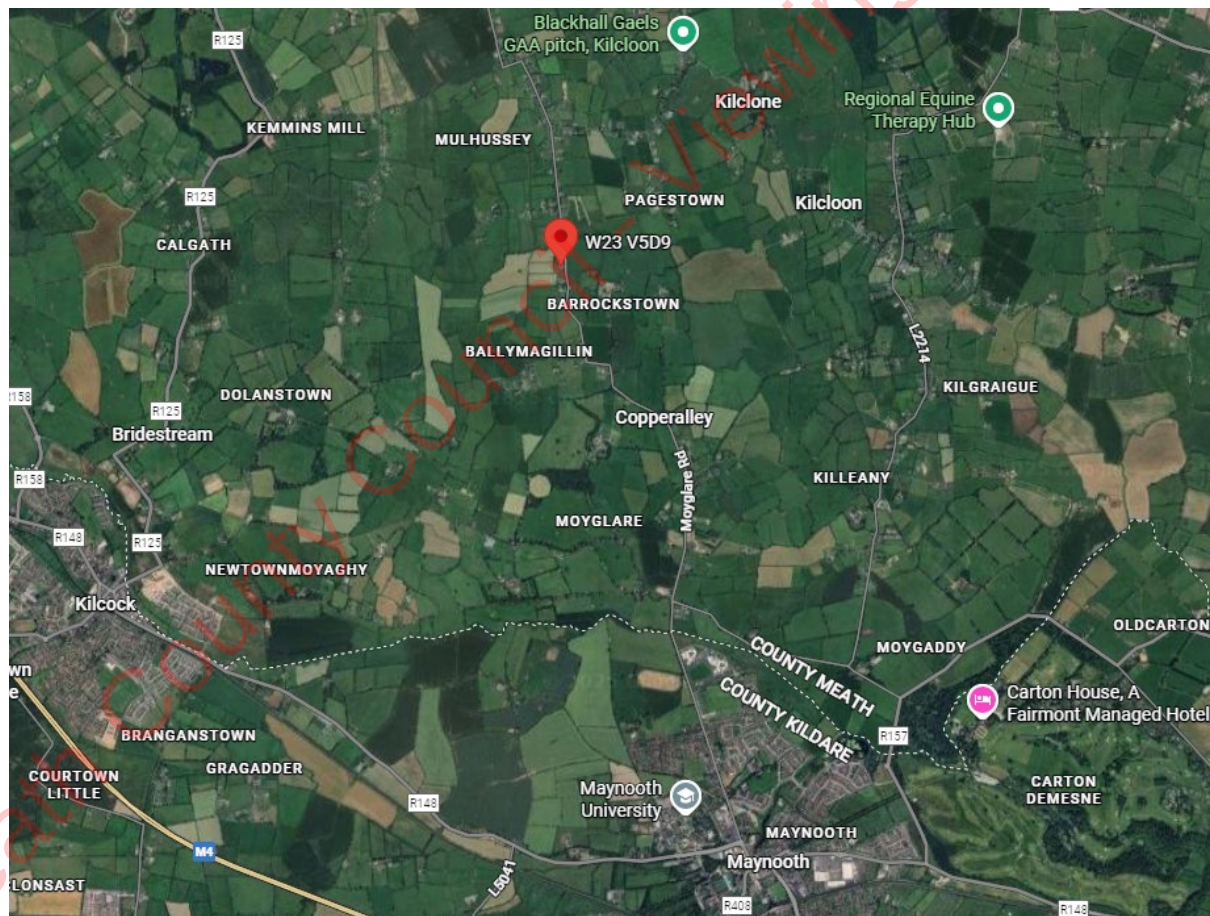


Figure 1: Site Location (Source: Google Maps, December 2025)



Figure 2: Aerial Photograph of Site Location (Source: Google Maps. Date of Capture: December 2025).

Site Photographs









2. Proposed Development:

The subject application seeks permission “for the construction alterations to existing single storey dwelling to include new extension to rear (western side), new treatment unit, percolation area/polishing filter and all associated site works”. The existing dwelling comprises a floor area of 98.9sqm, and the proposed extension will comprise a floor area of 53sqm.

3. Planning History:

PI. Ref. 95/996: Eamon O’ Shea **granted** permission to add a dormer roof to an existing flat-roofed extension at the rear of cottage (1995).

PI. Ref. 75/364: nothing on system.

4. National and Local Planning Policy: National Policy



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Project Ireland 2040, The National Planning Framework (NPF) was formally adopted on 29/05/2018 (Circular FPS06/2018). The NPF sets out the national planning policy context.

Regional Policy

The Regional Spatial and Economic Strategy (RSES) for the Eastern and Midland (EMRA) for the period 2019-2031 came into force in June 2019 and is a strategic plan and investment framework to shape the future development of the Region to 2031 and beyond.

Local Policy

The Meath County Development Plan 2021-2027 is the statutory development plan for the area. The Development Plan sets the local planning policy context including provisions for urban and rural development etc.

Chapter 9 of the Meath County Development Plan 2021-2027 sets out the Rural Development Strategy.

Chapter 11 of the Meath County Development Plan 2021-2027 sets out the Development Management Standards and Land Use Zoning Objectives.

Section 11.5.25 relates to Extensions in Urban and Rural Areas. The objective below relates to residential extensions in urban and rural areas.

DM OBJ 50: All applications for residential extensions in urban and rural areas shall comply with the following criteria:

- High quality design which respects, harmonises and integrates with the existing dwelling in terms of height, scale, materials used, finishes, window proportions, etc;
- The quantity and quality of private open space that would remain to serve the house
- Flat roof extensions, in a contemporary design context, will be considered on their individual merits;
- Impact on amenities of adjacent residents, in terms of light and privacy. Care should be taken to ensure that the extension does not overshadow windows, yards or gardens or have windows in the flank walls which would reduce a neighbour's privacy;
- Extensions which break the existing front building line will not normally be acceptable. A porch extension which does not significantly break the front building line will normally be permitted;
- Dormer extensions shall not obscure the main features of the existing roof, i.e. should not break the ridge or eaves lines of the roof;
- Proposed side extensions shall retain side access to the rear of the property, where required for utility access, refuse collection, etc.
- Ability to provide adequate car parking within the curtilage of the dwelling house
- In all cases where diversion or construction over existing sewerage and/or water mains is required, the consent of Irish Water will be required as part of the application.

All other relevant Section 28 Planning Guidelines have been considered in this assessment of this application.



5. Submissions:

None.

6. Representations:

None.

7. External Referrals:

None.

8. Internal Referrals:

None

9. Pre-Planning Consultation:

Section 19 of the planning application form confirms that a pre-planning consultation was not undertaken in relation to the proposed development.

10. Planning Assessment:

In summary, the main planning considerations in the determination of this application are:

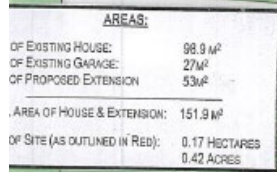
- Principle of Development;
- Layout & Design
- Access & Other Site Services.
- Flooding

Each item will be expanded on in further detail below.

10.1 Principle of Development

The application site has an RA, Rural Area land use zoning objective which states as follows: *‘To protect and promote in a balanced way, the development of agriculture, forestry and sustainable rural-related enterprise, community facilities, biodiversity, the rural landscape, and the built and cultural heritage.’*

As the proposed development is associated with an existing dwelling on site, it is generally considered to be acceptable where the Planning Authority is satisfied that the development would be compatible with the overall policies and objectives for the zone, would not have undesirable effects, and would otherwise be consistent with the proper planning and sustainable development of the area.



10.2 Layout & Design

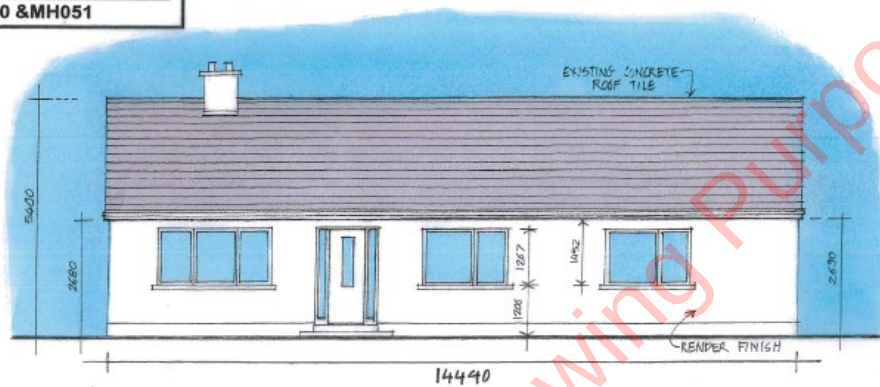
There is planning history related to the site under Pl. Ref. 95/996. The existing dwelling on site comprises a floor area of 98.9sqm with a ridge height of 5.4m. The proposal is to comprise a total extension of 53sqm that will be all ground floor and will comprise of a kitchen/dining/living area. There will be an open plan kitchen/dining/living room now on the ground floor to the rear of the existing dwelling house. Materials are to comprise of a render finish similar to that of what is existing on site. No changes are proposed to the front elevation. The proposed elevation will not increase the ridge height of the existing dwelling and will have a length of 9.6m into the rear garden. It appears that the proposed rear elevation will have a long window as will the side (south) elevation with some rooflights proposed. The other side elevation facing north will have two

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smaller windows. There are no concerns with overlooking of the nearby adjoining properties. There is also a garage on site with an existing floor area of 27sqm and a ridge height of 3.3m.

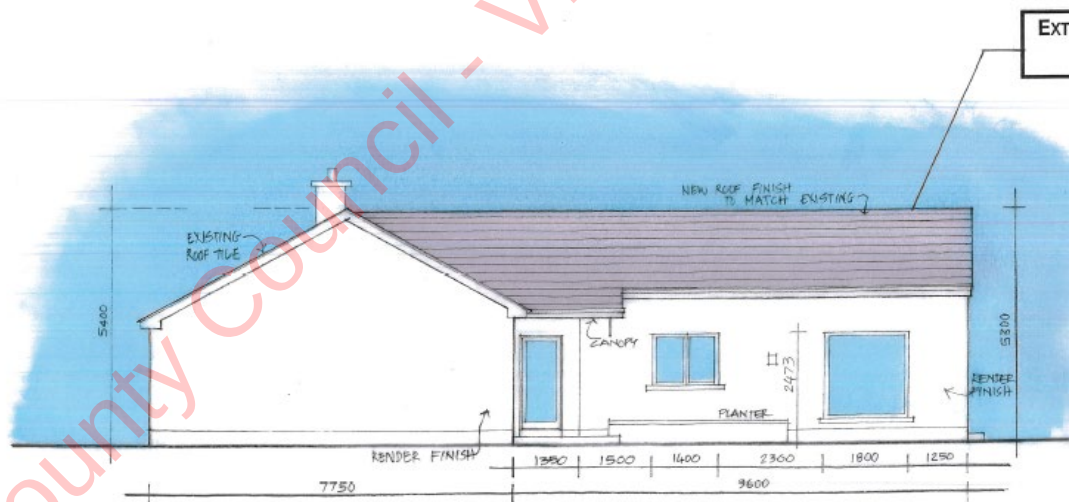
From a review of the submitted application and from conducting a site visit, the Planning Officer considers the proposal would not be out of character with the area and would not have any significant impacts on the residential and visual amenity of the area classified as a 'Lowland Landscape, namely the 'The Southeast', which has a very high landscape character value and a moderate landscape character sensitivity. Overall, the planning authority satisfied that the extension is acceptable having regard to the criteria set out under policy DM OBJ 50 and RD POL 30.

ORDNANCE SURVEY REFERENCE N^o.
DN010 & MH051



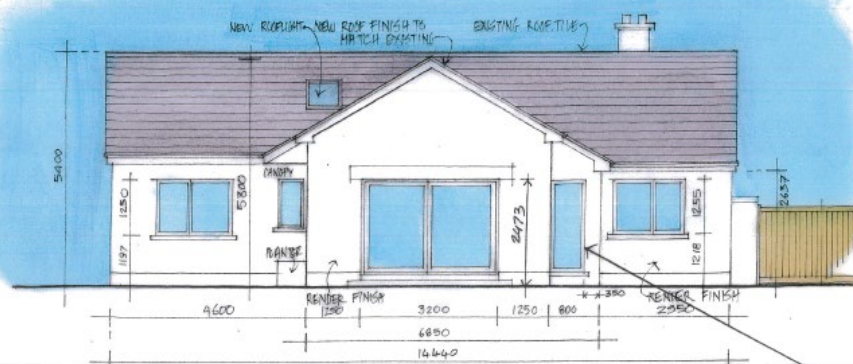
EXISTING FRONT ELEVATION - EAST FACING - SCALE 1:100.

NOTE: THERE ARE NO PROPOSED WORKS TO EXISTING FRONT ELEVATION.



PROPOSED SIDE ELEVATION - NORTH FACING - SCALE 1:100.

ORDNANCE SURVEY REFERENCE N^o.
DN010 & MH051



PROPOSED REAR ELEVATION - WEST FACING - SCALE 1:100.

EXTENT OF PROPOSED
- SEE SURVEY DRA



PROPOSED SIDE ELEVATION - SOUTH FACING - SCALE 1:100.

Figure 13: Proposed Elevations

10.3 Access & Other Site Services

Access

Vehicular access to the site is existing along the local road (L-2212). The local road is located to the front (east) and no changes are proposed.

Surface Water Drainage

Section 20 of the Application Form indicates that surface water drainage is existing via soakpits. Soakpits are indicated on the attached Site Layout Map.

Water Supply

Section 20 of the Application Form indicates water supply is existing via the public mains along the front of the road to the east of the site.

Wastewater Treatment

It appears that the applicant is proposing to decommission the existing wastewater treatment system and install a new wastewater treatment system and percolation area.



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Wastewater will be serviced by a new secondary treatment system and polishing filter with discharge to groundwater and indicate that the site is suitable for the proposed method. Details of this treatment system are outlined in the Site Characterisation Report submitted to the Planning Authority. The report was prepared by Percolation Tests. The proposed system will be an O' Reilly Oakstown System. The drawing detail is to be compliant with EPA Code of Practice 2021. Any permission should condition the application to be updated to be compliant with EPA Code of Practice 2021.

- Trial hole opened on 14/07/2025
- Subject site is located within a Locally Important (LI) Aquifer in an area of Moderate Vulnerability.
- Groundwater Protection Response is R1.
- Groundwater is unknown as per Site Suitability Assessment.
- Trial hole dug to 2.1m BGL
- Test holes examined on 16/07/2025
- The water table was encountered at 1m BGL and bedrock was not encountered.
- The sub-surface test result is shown at 37.64 (min/25mm)
- The surface test results is shown at 32.97 (min/25mm)

Based on the details attached with the site suitability assessment including the maps, pictures of the trial hole and site-specific longitudinal section, the planning authority are satisfied with the details attached and are satisfied that the proposal is compliant with the EPA Code of Practice 2021.

However, from the day of site inspection it appears that there is an existing septic tank system on site (see pictures attached namely Figure 6) that shows the existing septic tank system in the rear back garden. On that note, the applicant shall readvertise that they are proposing to decommission the existing septic tank system on site in their public notices. This shall be requested by further information.

10.4 Flooding

The Meath County Development Plan 2021-2027 refers to Flood Risk Management as a key area of assessment. A review of the area indicates that the application site is not located in an identified flood risk zone in the OPW PFRA Mapping/Strategic Flood Risk Assessment for County Meath carried out for the Meath County Development Plan 2021-2027. The application site is located within Flood Zone C. From a flood risk perspective, there is no objection to the proposed development.

The Applicant has also stated in Section 18 of the application form that the subject site has not flooded in the past.

11. Appropriate Assessment:

Article 6(3) of Council Directive 92/43/EEC (the Habitats Directive) compels competent authorities to undertake an appropriate assessment of any plan or project not directly connected with or necessary to the management of a Natura 2000 site but likely to have a significant effect thereon, either individually or in combination with other plans or projects.



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'Appropriate Assessment of Plans and Projects, Guidance for Planning Authorities' (2009) provide advice to planning authorities on their obligations under the Habitats Directive. The document, "Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities", states that where, from the nature, size and location of the development, it is unclear if the proposal will have a significant effect on a Natura 2000 site(s), a Natura Impact Statement will be required. The application site is not within or directly adjoining any designated Natura 2000 site. The following Natura 2000 sites are also located within 15km of the application site:

- Rye Water Valley/Carton SAC (001398) – c. 4.45km southeast of site

The Planning Authority considered the nature, scale and location of the proposed development and other plans and projects (where there could be potential for cumulative or in-combination effects), the conservation objectives/ qualifying interests of European Sites within the vicinity of the site and the distance to European Sites, any protected habitats or species, the WFD catchment location, the underlying aquifer type and vulnerability and the excavation works, emissions, transportation requirements and duration of construction and operation and cumulative impacts associated with the proposal.

The Planning Authority's Screening for Appropriate Assessment has considered the potential effects including direct, indirect and in-combination effects of the proposed development, individually or in combination with the permitted developments and cumulatively with other plans or projects on European Sites. The Planning Authority concludes that the proposed development (entire project), by itself or in combination with other plans and developments in the vicinity, would not be likely to have a significant effect on European Site(s). In light of this, it is considered that a Stage 2 Appropriate Assessment (Natura Impact Statement) is not required in this instance.

12. Environmental Impact Assessment:

The Planning Authority is required to determine if the proposed development requires an Environmental Impact Assessment (EIA). This determination is based on the requirements set out in Schedule 5 of the Planning & Development Regulations 2001-2025, that does not exceed the stated threshold (as per Article 92). In this regard, the residential-type extensions to individual dwelling properties are not listed in Schedule 5 therefore, a mandatory EIA is not required.

The Planning Authority must also determine if a sub-threshold EIAR is required. The proposed development is significantly below the relevant threshold for residential development and, will not by itself, or in combination with other developments, exceed the said threshold. Therefore, the Planning Authority is satisfied that a sub-threshold EIAR is not required.

13. Development Contributions:

Development contributions will be based on the Meath County Development Contributions Scheme (DCS) 2024-2029. Extensions less than 100sqm are deemed exempted from development contributions.



14. **Recommendation:**

In accordance with Section 34(8) of the Planning and Development Act 2000-2023, it is recommended that **further information** is requested to adequately assess the subject development, as follows:

1. a) It appears that there is an existing septic tank and treatment system on site. The applicant has not indicated if they are proposing to decommission said system on site. Therefore, the applicant shall apply to decommission the existing septic tank and treatment system on site. The applicant shall also submit a revised Site Layout Map showing the location of the existing treatment system on site.
b) The applicant shall also submit a revised Site Layout Map on a scale of 1:500 showing the location of the existing wastewater treatment systems of neighbouring dwellings and in the general vicinity. This is to provide details that the proposed wastewater treatment system is compliant with the EPA CoP 2021 with regard to minimum separation distances.
2. If any submission resulting from the above requires the submission of additional data which alters your original proposal and the Planning Authority on receipt of the submission consider it to be significant, you may be required to publish a notice in an approved newspaper in accordance with S.34(8) of the Planning and Development Acts 2000-2023. You should not publish any notices unless and until such time as the Planning Authority issues you with a notification to do so.

Note:

Any response to a Further Information Request for an Online application should ONLY be made Online via the ePlanning Portal.

Stephen O'Brien

Stephen O' Brien
A/Executive Planner
Date: 11/12/2025

**FURTHER
INFORMATION**

RECOMMENDATION

ACCEPTED

22 December 2025

Alan Russell
SIGNED: _____

Alan Russell
A/Senior Planner
Date: 11/12/2025