

Teach Buvinda, Bóthar Átha Cliath, An Uaimh, Contae na Mí. C15 Y291
Buvinda House, Dublin Rd., Navan, Co.Meath. C15 Y291

Planning & Development Act 2000 – 2023
NOTIFICATION OF DECISION

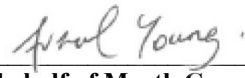
TO: Robert Briody
Sean Boyle
Unit 3,
Second Floor,
Donohoe Building, Kennedy Centre,
Kennedy Road, Navan, Co. Meath.
C15F89K

REFUSAL

PLANNING REGISTER NUMBER: 26/60948
APPLICATION RECEIPT DATE: 28/07/2026
FURTHER INFORMATION DATE:

In pursuance of the powers conferred upon them by the above-mentioned Act, Meath County Council has by Order dated 17/09/2026 decided to **REFUSE PERMISSION** to the above named for development of land in accordance with the documents submitted namely: the construction of a two storey residence, gym/home office and domestic garage including connection to existing services - at Carlanstown, Kells, Co. Meath. for the 5 reasons set out in the Schedule hereto.

DATE: 17/09/2026


On behalf of Meath County Council

The Planning Authority in deciding this application in accordance with Section 34(3) of the Planning and Development Act 2000-2023, has regard to submissions or observations received in accordance with the Planning and Development Regulations 2001-2025, as amended.

NOTE:

1. Any appeal against a decision of a Planning Authority under Section 34 of the Planning and Development Act, of 2000-2023 may be made to An Coimisiún Pleanála. Any person may appeal WITHIN FOUR WEEKS beginning on the date of the decision.
2. Appeals should be addressed to An Coimisiún Pleanála, 64 Marlborough Street, Dublin 1. An appeal by the applicant should be accompanied by this form. **In the case of a third party appeal, the acknowledgement from the Planning Authority of receipt of the submission or observation made by the person to the Planning Authority at application stage should be submitted and the name of the person, particulars of the proposed development and the date of the decision of the Planning Authority should be stated.**

*Personal Data/ Information – If you have submitted personal data relating to your application, this will be destroyed after 1 month of this Notification. If you wish to collect your Personal Data / Information please arrange to collect within 1 month of the date of this Notification. Photographic ID (Passport / Driving Licence) will be required and the Planning Authority must be satisfied with same.

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Guide to Fees payable to the Board

- a. Appeal against a decision of a planning authority on a planning application relating to commercial development¹ made by the person by whom the planning application was made, where the application included the retention of development is € 4,500 or € 9,000 if EIA R / NIS involved².
- b. Appeal against a decision of a planning authority on a planning application relating to commercial development¹, made by the person by whom the planning application was made, other than an appeal mentioned at (a) is € 1,500 or € 3,000 if EIA (R) / NIS involved².
- c. Appeal against a decision of a planning authority on a planning application made by the person by whom the planning application was made, where the application included the retention of development, other than an appeal mentioned at (a) or (b) is € 660.
- d. Appeal other than an appeal mentioned at (a), (b), (c) or (f)³ is € 220
- e. Application for leave to appeal is € 110.
- f. Appeal following a grant of leave to appeal € 110.
- g. Any first party appeal solely against contribution conditions under section 48 or 49 of the 2000 Acts 2000 - 2023, attracts a fee of €220 irrespective of the nature of the application

An appeal will be invalid unless accompanied by the appropriate fee and evidence of payment of submission fee to the Planning Authority.

Submissions or observations to An Coimisiún Pleanála by or on behalf of a person (other than the applicant) as regards an appeal made by another person must be submitted within four weeks of receipt of the appeal by An Coimisiún Pleanála and must be accompanied by a fee of € 50.

Footnote

- ¹ Commercial development includes 2 or more dwellings. See Board's order determining fees and its appeal guide.
² The higher fee applies where an Environmental Impact Assessment Report Statement (EIA R) or Natura Impact Statement (NIS) was submitted to the planning authority under section 172(1) and / or 177T of the 2000 – 2023 Planning Act or article 103(1) of the 2001-2026 Planning Regulations, as amended except where the appeal relates solely to a section 48 / 49 development / supplementary development contribution scheme and/or a special financial contribution. (refer to (g) above).
³ Applies to:- (i) All third party appeals except where the appeal follows a grant of leave to appeal; (ii) First party normal planning appeals (section 37) not involving commercial or unauthorised development, or an EIA R; (iii) All other appeals (non-section 37).

While every care has been taken to ensure the accuracy and completeness of this information, it is the responsibility of any person / body making an appeal to ensure that their appeal is accompanied by the correct fee.

For more information on Appeals you can contact An Coimisiún Pleanála at:

Tel: 01 - 8588100 or LoCall: 1890 275 175

Fax: 01 – 8722684

Email: appeals@pleanala.ie

Web: www.pleanala.ie

Reasons for Refusal

1. It is a policy (RD POL 38) of the Meath County Development Plan 2021-2027 (as varied), *“To ensure that all development accessing off the county’s road network is at a location and carried out in a manner which would not endanger public safety by way of a traffic hazard”*.

The applicant has failed to demonstrate that adequate sightlines can be achieved at the proposed entrance. In the absence of unobstructed sightlines of 49 metres to the nearside edge of the road, measured from a setback of 2.4 metres in accordance with TII document DN-GEO-03060, and in the absence of an entrance layout demonstrated to be in accordance with the Meath Rural Design Guide, the proposed development would endanger public safety by reason of a traffic hazard and obstruction of road users. The proposed development would therefore be contrary to the aforementioned policy provisions of the Meath County Development Plan 2021 – 2027 (as varied) and thereby would be contrary to the proper planning and sustainable development of the area.

2. The proposed garage, located approximately 1 metre from the boundary with the adjoining residential property, would, by reason of its scale, massing and orientation, result in the overshadowing of a glazed door serving as a source of natural light to that dwelling. The proposal would unduly impact on the residential amenity of the adjoining property through loss of daylight and would therefore be contrary to the proper planning and sustainable development of the area.
3. Objective CAR OBJ 17 seeks, *“To ensure that all new development respects the scale, form and character of the village”*.

The proposed development, by reason of its scale, massing and the use of brick as the finish to the front projecting gable, would result in a discordant and visually obtrusive form of development that would be out of character with the established streetscape and architectural vernacular of the village. The proposal would therefore fail to respect the scale, form and character of the village, contrary to Objective CAR OBJ 17 of the Meath County Development Plan 2021-2027, and would be contrary to the proper planning and sustainable development of the area.

4. Objective CAR OBJ 8 of the Carlanstown Written Statement of the Meath County Development Plan 2021 – 2027 (as varied) seeks, *“To protect the significant stands of trees in the village as identified in the land use zoning map and listed below and to retain significant hedgerows and stone walls where possible by incorporating them into future development layouts in the village”*.

The applicant has failed to adequately demonstrate the retention of the significant trees and hedgerows recorded on site, which are protected under the Meath County Development Plan 2021-2027. The trees do not appear on the submitted site layout drawing. In the absence of a landscaping plan or arborist's report addressing their retention and protection during construction, the Planning Authority is not satisfied that the proposed development would protect the significant stands of trees in the village, contrary to Objective CAR OBJ 8 of the Meath County Development Plan 2021-2027 and would be contrary to the proper planning and sustainable development of the area.

5. Based on the lack of information submitted, it cannot be objectively concluded that the proposed development would not result in adverse effects on the integrity of the River Boyne and River Blackwater SAC (Site Code: 002299) and the River Boyne and River Blackwater SPA (Site Code: 004232), either alone or in combination with other plans or projects, having regard to the conservation objectives of those European sites. The Planning Authority therefore cannot rule out the potential for significant effects on European sites. The proposed development would therefore be contrary to Article 6(3) of the Habitats Directive and the proper planning and sustainable development of the area.

Meath County Council - Viewing Purposes Only!